

VICINITY MAP
NOT TO SCALE

GENERAL SURVEY NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM MAP NUMBER 3720313700J (PANEL 3137) DATED 04/03/06.
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83

C1:
BEARING: N 77°21'12"W
CHORD: 162.34'
ARC: 166.08'
RADIUS: 225.00'



SCALE: 1 IN = 20 FT
SCALE IN FEET
HORIZONTAL

APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	_____	_____
TRAFFIC	_____	_____
FIRE	_____	_____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
EXISTING CONDITIONS SURVEY AND TREE INVENTORY

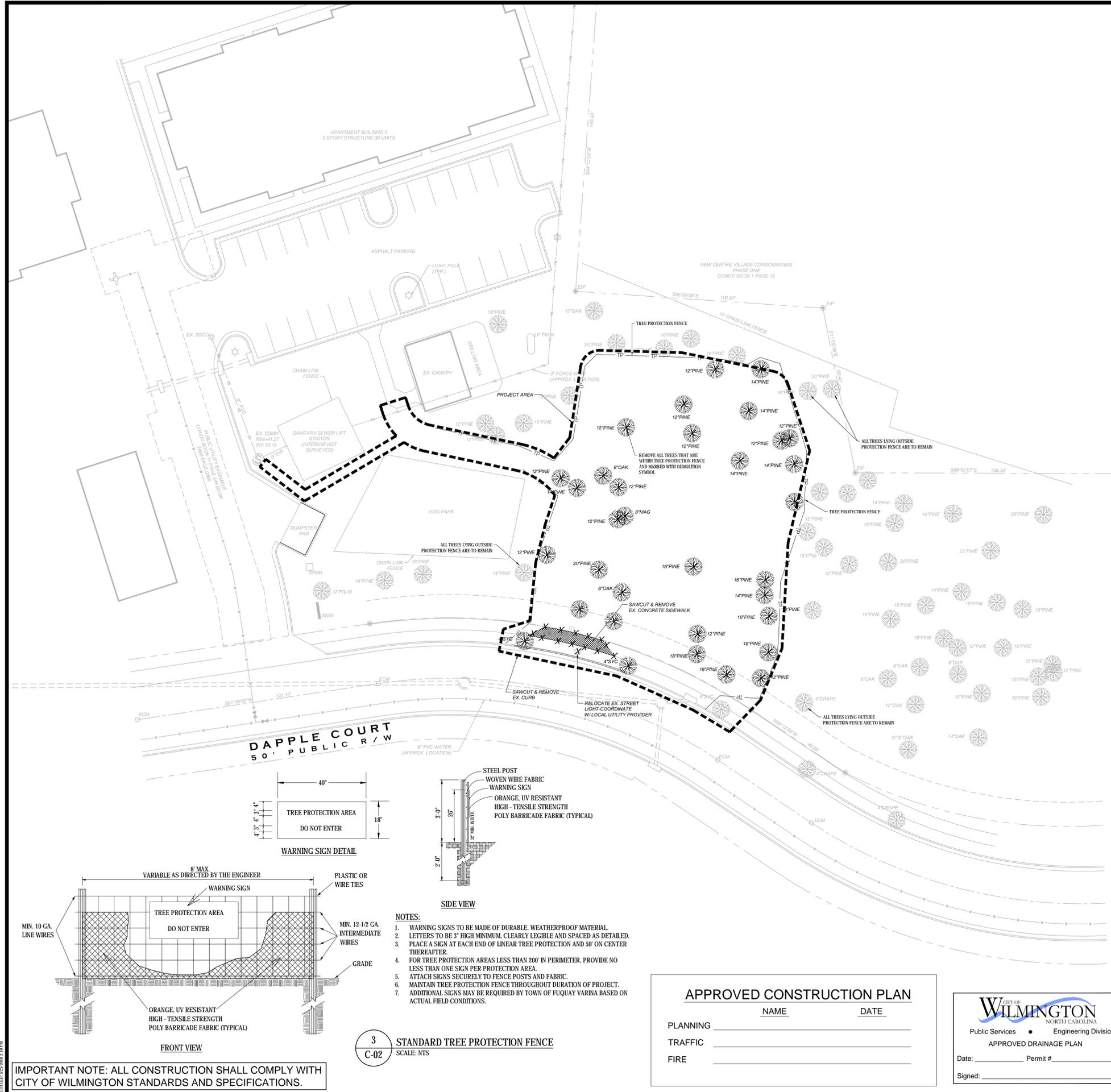
205 S. Raquel Avenue
Fayetteville, NC 27808
T 703.582.0840
F 703.582.2883



Curry
ENGINEERING
C-01

APPROVED FOR SUBMITTAL TO THE CITY OF WILMINGTON FOR THE HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER PLANNING AND TRAFFIC ENGINEERING DIVISION

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.



GENERAL SURVEY NOTES:

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- VERTICAL DATUM: NAVD83, HORIZONTAL DATUM: NAD83

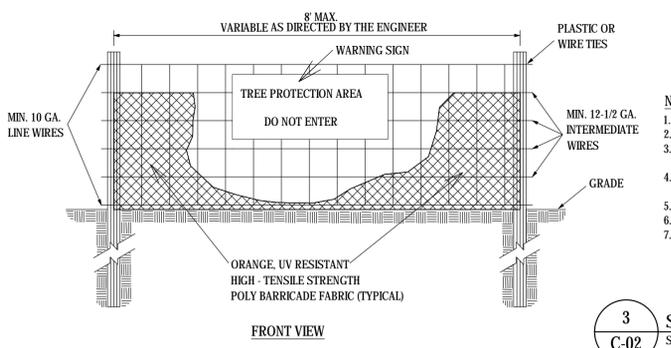
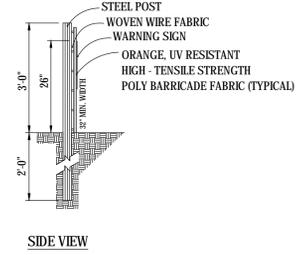
DEMOLITION NOTES:

- REMOVE/DEMOLISH/ABANDON EXISTING FEATURES AFTER EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND AFTER THE APPROVAL OF THE ENGINEER.
- DO NOT INTERRUPT EXISTING UTILITY SERVICES FOR FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES.
 - (1): NOTIFY ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY SERVICE INTERRUPTIONS.
 - (2): DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING WRITTEN PERMISSION FROM THE DESIGN ENGINEER.
- SUBSURFACE UTILITIES AND FEATURES DENOTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND HAVE NOT BEEN FIELD VERIFIED WITH TRADITIONAL SUE OR UNDERGROUND UTILITY LOCATION OR MARKING METHODS. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION, INCLUDING UTILITY "POTHOLING" OR BY THE EXCAVATION OF TEST PITS AS NECESSARY TO DETERMINE THE UTILITY LOCATION, DEPTHS, AND MATERIALS.
- VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF EXISTING FEATURES THROUGH THE USE OF PHOTOGRAPHY, VIDEO, OR OTHER RECORDS PRIOR TO DISTURBANCE ON SITE.
- LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. NOTIFY OWNER AND ENGINEER IF ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD PAINT, ETC.) ARE ENCOUNTERED.
- REMOVE SIDEWALK, CURB AND GUTTER, AND OTHER CONCRETE SECTIONS BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
- SAWCUT PAVEMENT IN ALL LOCATIONS WHERE ABUTTING SIDEWALK OR NEW PAVEMENT IS EXISTING.
- DRAWINGS DO NOT SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW UTILITY SERVICES OR LINES. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OBTAINED THROUGH VARIOUS DATA SOURCES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CALL THE APPROPRIATE UTILITY COMPANIES 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITY SERVICES OR LINES.
- NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS, OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY PROVIDER (I.E. POWER, TELEPHONE, CABLE, AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
- ARRANGE SELECTIVE DEMOLITION SCHEDULE SO AS NOT TO INTERFERE WITH OWNER'S USE OF THE PROPERTY.
- SHOULD UNCHARTED OR INCORRECTLY CHARTED EXISTING UTILITIES BE IDENTIFIED, CONTACT THE ENGINEER IMMEDIATELY FOR INSTRUCTIONS. PROVIDE A SCALED DRAWING OF THE UNCHARTED OR INCORRECTLY CHARTED UTILITY FOR USE BY THE ENGINEER IN PREPARING ADDITIONAL DIRECTIONS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE, FREE OF DEBRIS, TRASH, OR OTHER CONSTRUCTION MATERIALS. AREAS SUBJECT TO SITE CONSTRUCTION ADJACENT TO THE PUBLIC RIGHT OF WAY AND PEDESTRIAN SIDEWALKS SHALL BE LEFT "BROOM CLEAN" AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL VERIFY AND CONFIRM LOCATION OF STAGING AND LAYDOWN AREA, MATERIALS STORAGE AREA, AND SUBCONTRACTOR PARKING WITH THE PROPERTY OWNER AND/OR PROPERTY MANAGEMENT PRIOR TO BEGINNING WORK ON-SITE.

DEMOLITION SEQUENCE:

- INSTALL TREE PROTECTION FENCING IF REQUIRED, ACCORDING TO THE DRAWINGS.
- INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- REMOVE AND/OR DEMOLISH EXISTING UNDERGROUND POWER AND OTHER UTILITIES WITHIN THE PROJECT AREA. COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS PRIOR TO REMOVAL.
- REMOVE EXISTING TREES THAT ARE APPROVED FOR REMOVAL.
- REMOVE EXISTING ASPHALT, CONCRETE, GRAVEL, AND OTHER SURFACES AS SHOWN.
- REMOVE EXISTING ROOT MAT, TOPSOIL, AND OTHER ORGANIC MATERIALS FROM THE CONSTRUCTION AREA AS REQUIRED.
- REMOVE ANY ADDITIONAL EXISTING FEATURES AS SHOWN ON THIS PLAN.

DAPPLE COURT
50' PUBLIC R/W



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF FUQUAY VARINA BASED ON ACTUAL FIELD CONDITIONS.

APPROVED CONSTRUCTION PLAN

NAME _____ DATE _____

PLANNING _____

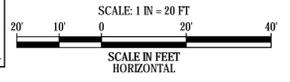
TRAFFIC _____

FIRE _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____



NOT FOR CONSTRUCTION

HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
DEMOLITION AND TREE REMOVAL PLAN
 CURRY ENGINEERING
 C-02

REVISIONS
 DATE: 05-17-16
 FILE NO: 2015-083
 HOZ. SCALE: NONE
 CIRC. SHEET SIZE: 24 x 36

205 S. Burgin Avenue
 Fuquay Varina, NC 27306
 T 919.552.0800
 F 919.552.0883
 www.curryeng.com

HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER PLANSHEET FILED FOR DEMOLITION AND TREE REMOVAL PLAN
 DATE: 05/17/16 10:58 AM



DRAINAGE STRUCTURE DATA

- ① 18" NYLOPLAST DRAIN BASIN
RIM 39.60
INV. IN 37.60
INV. OUT 37.60
- ② 18" NYLOPLAST DRAIN BASIN
RIM 40.50
INV. IN 37.96
INV. OUT 37.96
- ③ 18" NYLOPLAST DRAIN BASIN
RIM 40.90
INV. OUT 38.11
- ④ 30.02 LF 15" HDPE @ 0.5%
- ⑤ 72.84 LF 15" HDPE @ 0.5%
- ⑥ 15.78 LF 15" HDPE @ 0.5%

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 - COMPLY WITH LOCAL SPECIFICATIONS WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IN THE EVENT OF A CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN UNLESS OTHERWISE NOTED ON THE PLANS.
 - COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. WATER AND SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) STANDARDS AND SPECIFICATIONS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES OR UTILITY SERVICE PROVIDERS SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL NOTIFY CFPUA INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS ON ALL WATER AND SEWER LINES AT ALL TIMES DURING CONSTRUCTION.
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
 - EXISTING UNDERGROUND UTILITY LINES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITY.
 - ACCESSIBLE PARKING SPACES SHALL CONFORM WITH ADAAG REGULATIONS AND NC BUILDING CODE. THE MAXIMUM SLOPE IN ANY ACCESSIBLE PARKING AREA IS 2% IN ANY DIRECTION. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ACCESSIBLE ROUTE SHALL BE 5% AND THE MAXIMUM CROSS SLOPE OF ANY ACCESSIBLE ROUTE SHALL BE 2%. CONCRETE FLATWORK AREAS ALONG THE ACCESSIBLE ROUTE WHICH DO NOT COMPLY WITH APPLICABLE ADAAG REGULATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

UTILITY LEGEND

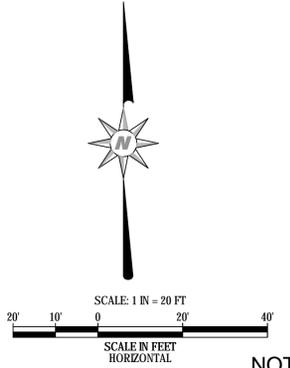
	UTILITY LINE
	TELEPHONE
	FIRE HYDRANT ASSEMBLY (FHA)
	GATE VALVE (GV)
	TEE
	THRUST (REACTION) BLOCKING
	BLOW OFF VALVE
	WATER METER
	BACKFLOW PREVENTER
	CLEANOUT
	SANITARY MANHOLE
	FLARED END SECTION
	CATCH BASIN
	YARD INLET
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE

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APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	_____	_____
TRAFFIC	_____	_____
FIRE	_____	_____

Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

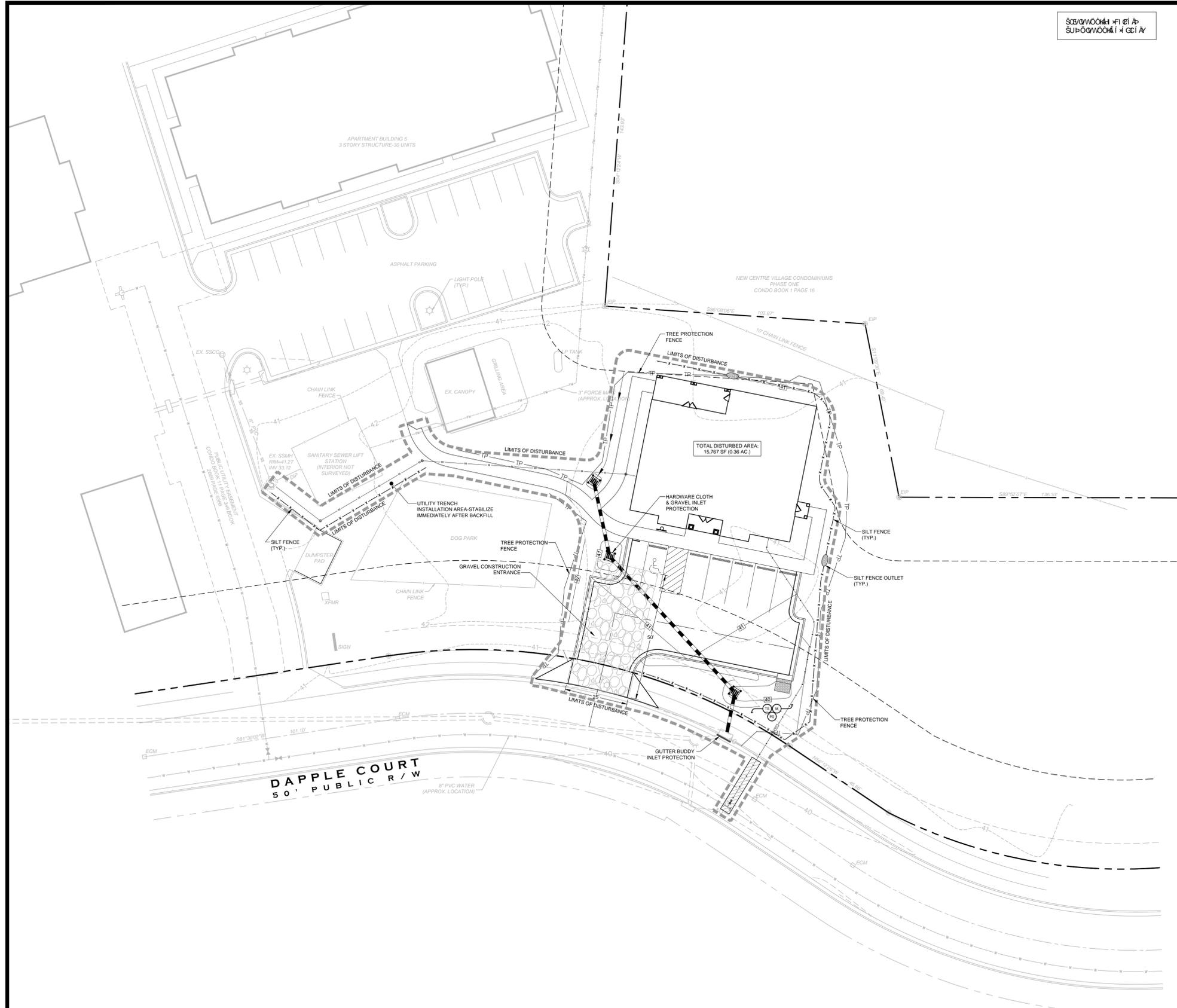


HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
GRADING & DRAINAGE PLAN

T 910.582.0840
 F 910.582.0843
 205 S. Burgin Avenue
 Fayetteville, NC 27306

REVISIONS
 DATE: 05-17-16
 FILE NO: 2015-083
 HORZ. SCALE: AS SHOWN
 VERT. SCALE: 1" = 4'-0"
 SHEET SIZE: 24" x 36"

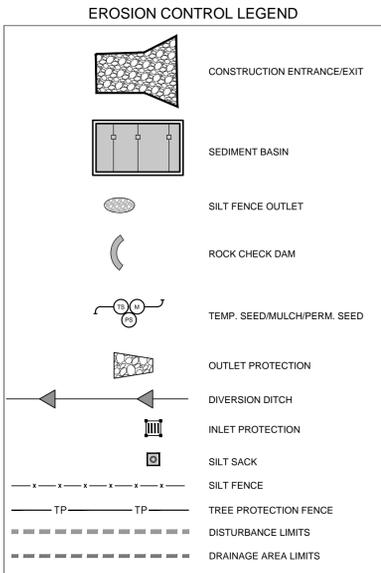
Curry
 ENGINEERING
C-05



SCHEMATIC PLAN
SUBPROVISION 1 of 1

- GENERAL SITE PLAN NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
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 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

- EROSION CONTROL CONSTRUCTION SEQUENCE:**
- A LAND DISTURBANCE PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO ANY DISTURBANCE ON SITE. THIS PRECONSTRUCTION CONFERENCE MAY BE COMBINED WITH OTHER PRECONSTRUCTION MEETINGS AS NECESSARY. THE MEETING SHALL BE BETWEEN THE OWNER, NEW HANOVER COUNTY INSPECTIONS STAFF (IF REQUIRED), THE ENGINEER, AND GENERAL CONTRACTOR. THE CONTRACTOR SHALL SCHEDULE THE MEETING TO OCCUR AT LEAST 48 HOURS PRIOR TO ANY DISTURBANCE ON SITE.
 - INSTALL SILT FENCE AROUND THE PERIMETER OF THE WORK SITE, DISTURBING ONLY THOSE AREAS NECESSARY TO INSTALL THE FENCE. REMOVE EXISTING FEATURES AS NEEDED TO INSTALL THE FENCE, AS OUTLINED ON THE DEMOLITION PLAN.
 - PLACE PEDESTRIAN BARRICADES ON SIDEWALKS AS SHOWN ON THE DEMOLITION PLAN AND EROSION CONTROL PLAN.
 - ONCE SILT FENCE IS INSTALLED, BEGIN CLEARING, GRUBBING, AND STRIPING OF THE SITE. STRIP AND STOCKPILE TOPSOIL FOR SIFTING, DRYING, AND TESTING.
 - SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND SIDEWALK AS SHOWN ON THE DEMOLITION PLAN. DISPOSE OF CONSTRUCTION DEBRIS IN AN APPROVED LANDFILL.
 - BEGIN ROUGH GRADING THE SITE TO CREATE A BUILDING PAD AS NEEDED. PLACE FILL MATERIAL UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
 - BEGIN CONSTRUCTION OF NEW BUILDING FACILITY.
 - INSTALL ROOF DRAINAGE LEADERS, DRAIN TILE, AND OTHER STORMWATER PIPING.
 - INSTALL CONCRETE FLATWORK AND SIDEWALK AREAS. COMPLETE FINE GRADING OF ANY DISTURBED AREAS.
 - STRIP PARKING LOT AND INSTALL FINAL SITE IMPROVEMENTS (BOLLARDS, WHEEL STOPS, ETC.).
 - INSTALL LANDSCAPING SHRUBS, TREES, AND GROUND COVER. STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING OR SOD AS SHOWN ON THE LANDSCAPING PLANS.
 - ONCE SITE IS PERMANENTLY STABILIZED, REMOVE ALL SILT FENCE AND OTHER TEMPORARY EROSION CONTROL MEASURES. STABILIZE REMAINING FINAL AREAS ALTERED DURING THE REMOVAL OF EROSION CONTROL MEASURES.



IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

APPROVED CONSTRUCTION PLAN

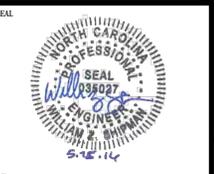
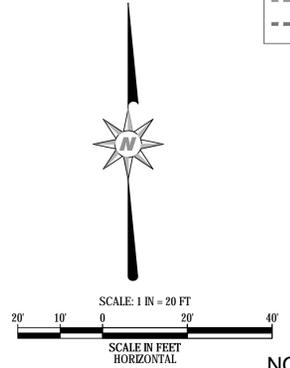
	NAME	DATE
PLANNING	_____	_____
TRAFFIC	_____	_____
FIRE	_____	_____

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

 Date: _____ Permit # _____

 Signed: _____



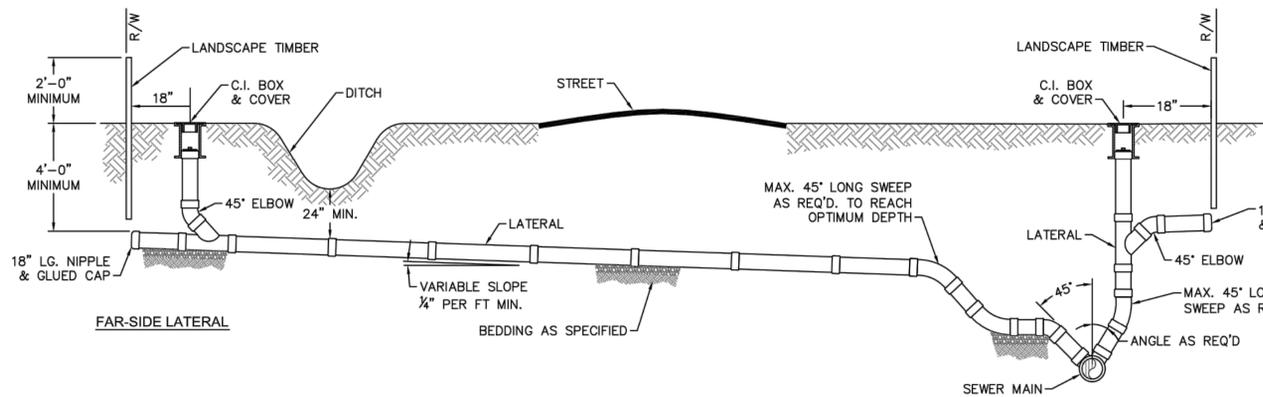
HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
EROSION CONTROL PLAN

REVISIONS
 DATE: 05-17-16
 FILE NO: 2015-1683
 HORIZ. SCALE: AS SHOWN
 ORIG. SHEET SIZE: 24 x 36

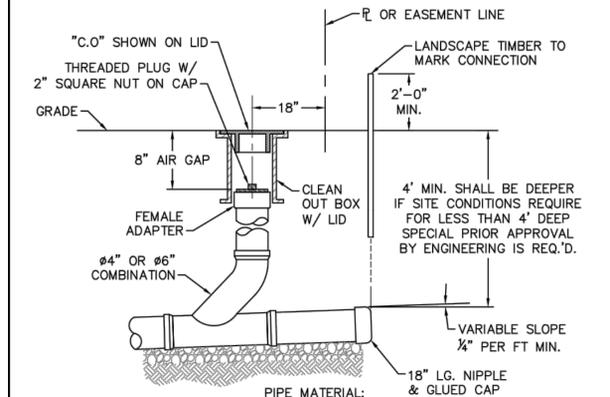
T 910.582.0840
 F 910.582.0843
 205 S. Burgamy Avenue
 Fayetteville, NC 27808

CURRY ENGINEERING, INC.

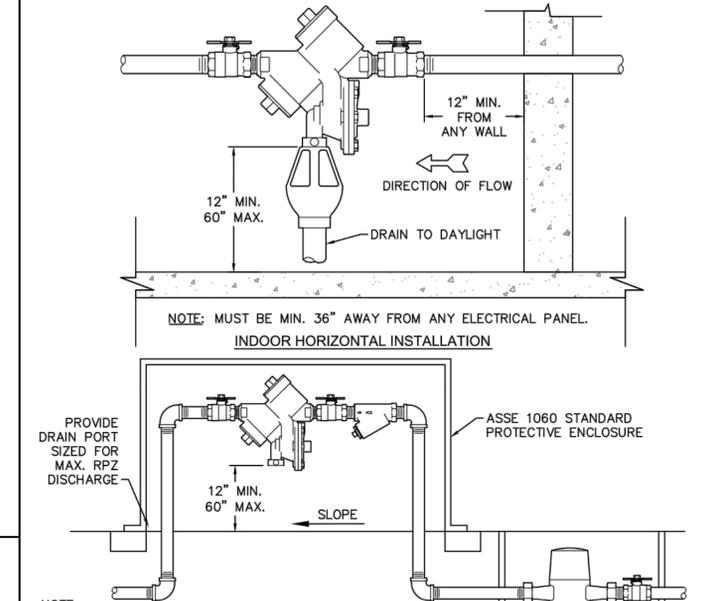
C-08



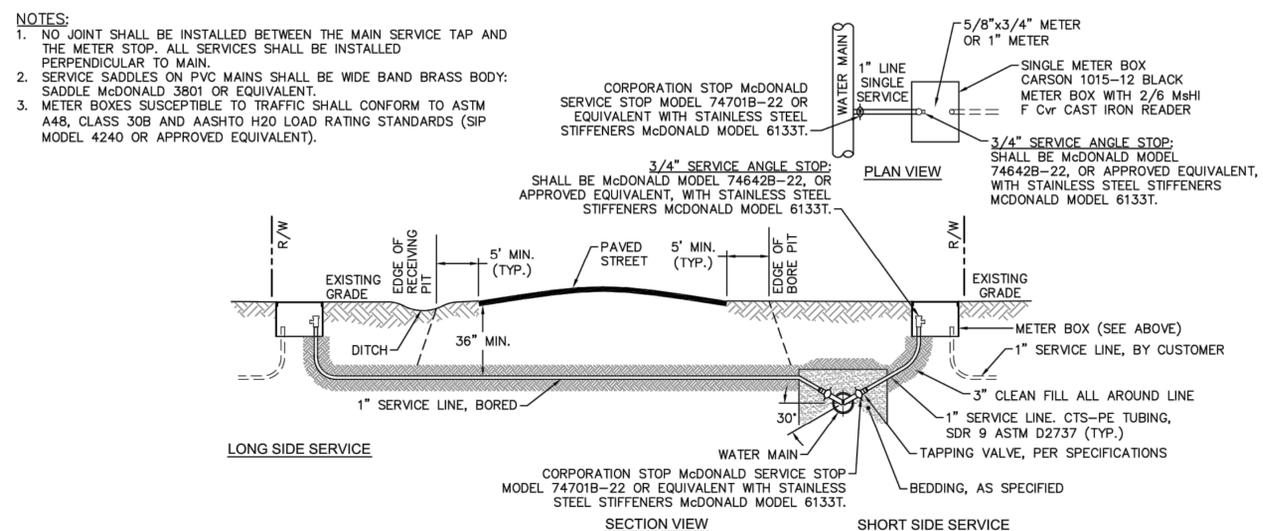
NOTE: FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR TIE-IN TO MAIN
STANDARD SERVICE CONNECTION TO SANITARY SEWER
 NOT TO SCALE



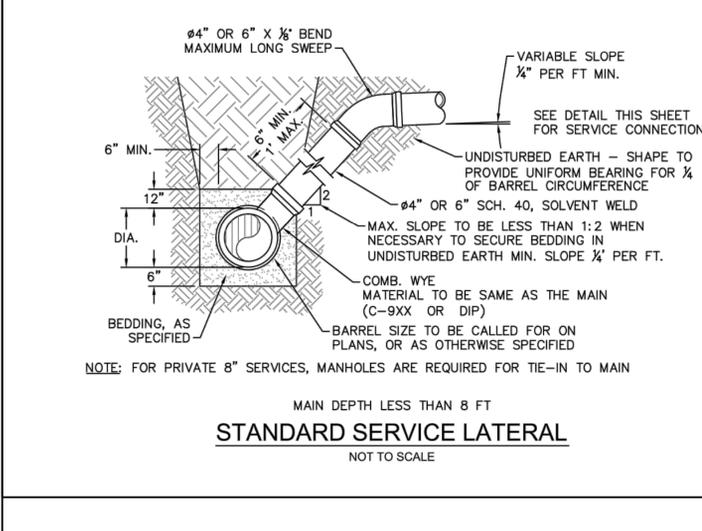
SERVICE CONNECTION & CLEAN-OUT
 NOT TO SCALE



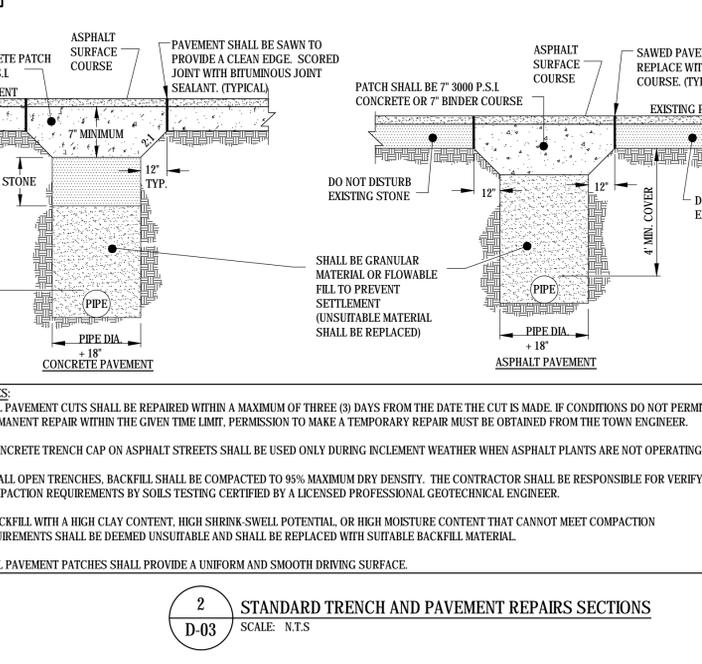
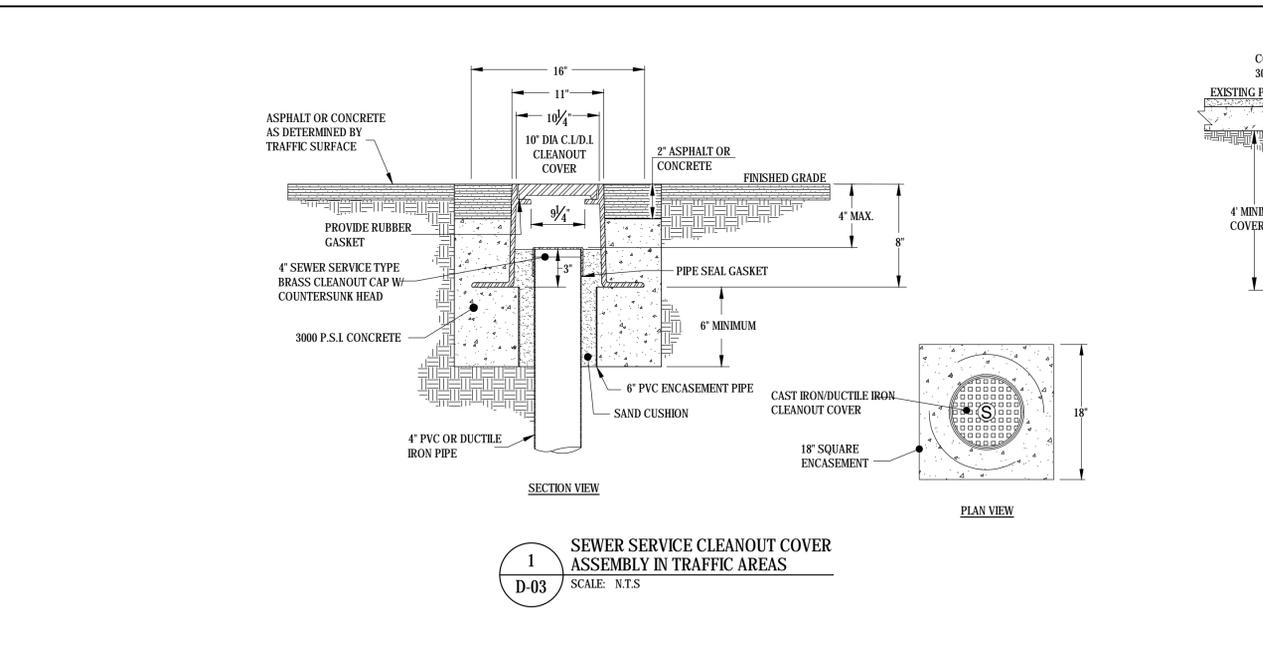
REDUCED PRESSURE PRINCIPLE ASSEMBLY
 NOT TO SCALE



SINGLE SERVICE CONNECTION
 NOT TO SCALE



STANDARD SERVICE LATERAL
 NOT TO SCALE



2
 D-03
 STANDARD TRENCH AND PAVEMENT REPAIRS SECTIONS
 SCALE: N.T.S.

APPROVED CONSTRUCTION PLAN

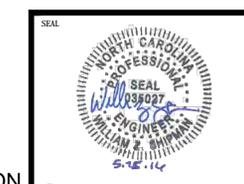
NAME _____ DATE _____

PLANNING _____

TRAFFIC _____

FIRE _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____



NOT FOR CONSTRUCTION

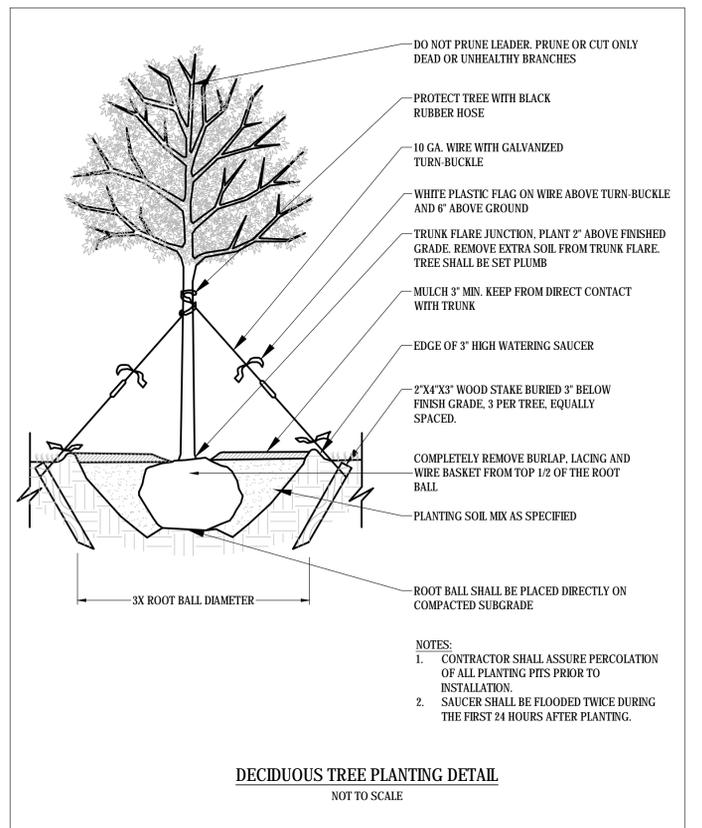
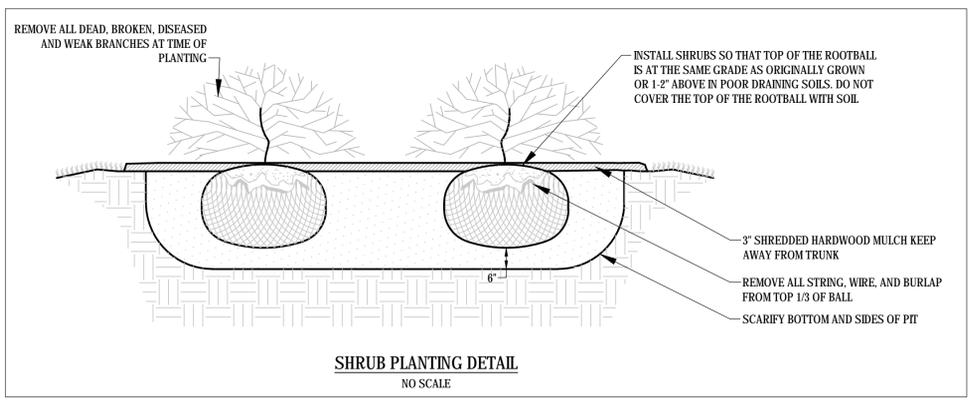
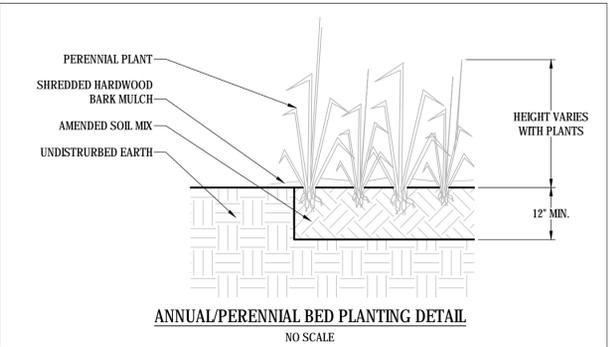
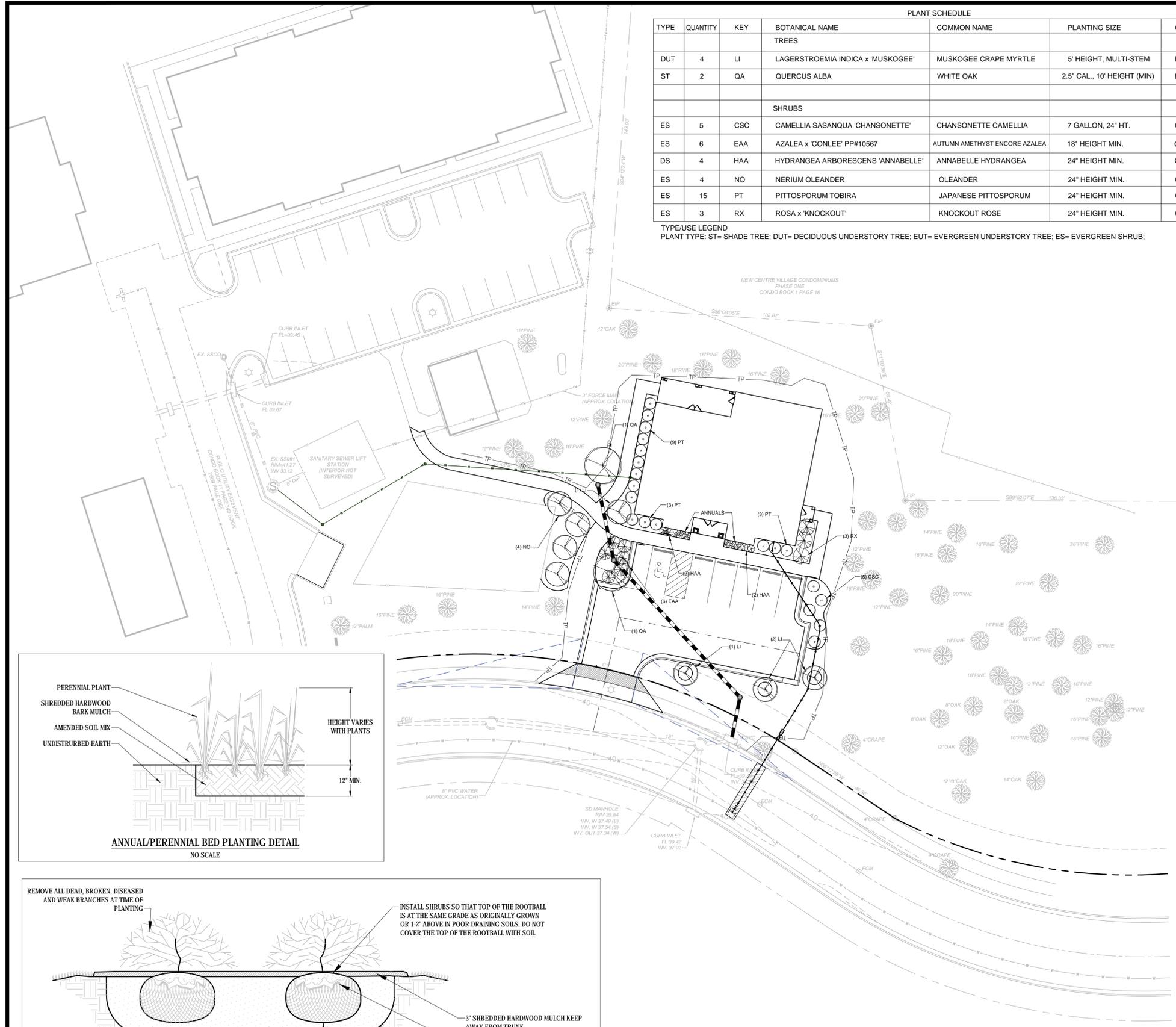
PLANT SCHEDULE						
TYPE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
DUT	4	LI	LAGERSTROEMIA INDICA x 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	5' HEIGHT, MULTI-STEM	B&B
ST	2	QA	QUERCUS ALBA	WHITE OAK	2.5" CAL., 10' HEIGHT (MIN)	B&B-SINGLE STEM ONLY
SHRUBS						
ES	5	CSC	CAMELLIA SASANQUA 'CHANSONETTE'	CHANSONETTE CAMELLIA	7 GALLON, 24" HT.	CONTAINER
ES	6	EAA	AZALEA x 'CONLEE' PP#10567	AUTUMN AMETHYST ENCORE AZALEA	18" HEIGHT MIN.	CONTAINER
DS	4	HAA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24" HEIGHT MIN.	CONTAINER
ES	4	NO	NERIUM OLEANDER	OLEANDER	24" HEIGHT MIN.	CONTAINER
ES	15	PT	PITOSPORUM TOBIRA	JAPANESE PITOSPORUM	24" HEIGHT MIN.	CONTAINER
ES	3	RX	ROSA x 'KNOCKOUT'	KNOCKOUT ROSE	24" HEIGHT MIN.	CONTAINER

TYPE/USE LEGEND
 PLANT TYPE: ST= SHADE TREE; DUT= DECIDUOUS UNDERSTORY TREE; EUT= EVERGREEN UNDERSTORY TREE; ES= EVERGREEN SHRUB;

- GENERAL NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
 - PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRECONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER AND CITY OF WILMINGTON INSPECTION STAFF TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPING PLANS.
 - CONTACT THE NC ONE CALL CENTER (811) FOR LOCATIONS OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM WATER AND SEWER CONNECTIONS. NOTIFY THE ENGINEER IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
 - VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING; PLANT LIST TOTALS ARE SHOWN FOR CONVENIENCE ONLY AND SHALL BE CONFIRMED PRIOR TO SUBMITTING BIDS.
 - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON THE PLANS, UNLESS EXPRESS WRITTEN PERMISSION IS ISSUED FROM THE OWNER OR THE ENGINEER INDICATING OTHERWISE. FINAL PLANT SELECTION MAY BE SUBJECT TO SEASONAL AVAILABILITY AND MAY BE ALTERED OR MODIFIED BY THE OWNER AS DESIRED.
 - ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." IF SPECIFIED PLANT MATERIAL IS NOT AVAILABLE, SUBMIT PROOF OF NON-AVAILABILITY TO THE ENGINEER, TOGETHER WITH PROPOSAL FOR THE USE OF EQUIVALENT MATERIAL, VARIETIES, OR CULTIVARS.
 - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.

- CONSTRUCTION/INSTALLATION:**
- THE OWNER AND/OR ENGINEER RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
 - LABEL AT LEAST ONE TREE AND SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
 - INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY THE OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

- INSPECTIONS/GUARANTEES:**
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY THE COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE ENGINEER.
 - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTOR'S CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
 - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
 - REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.



APPROVED CONSTRUCTION PLAN

NAME _____ DATE _____

PLANNING _____

TRAFFIC _____

FIRE _____

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

