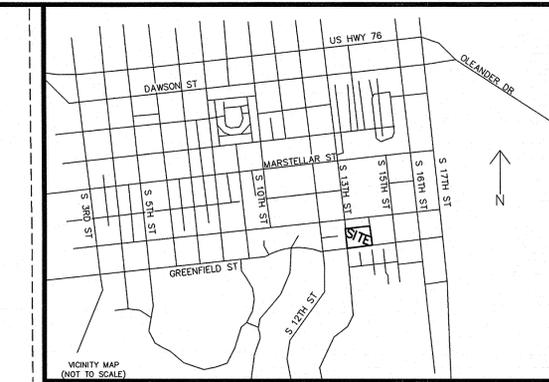
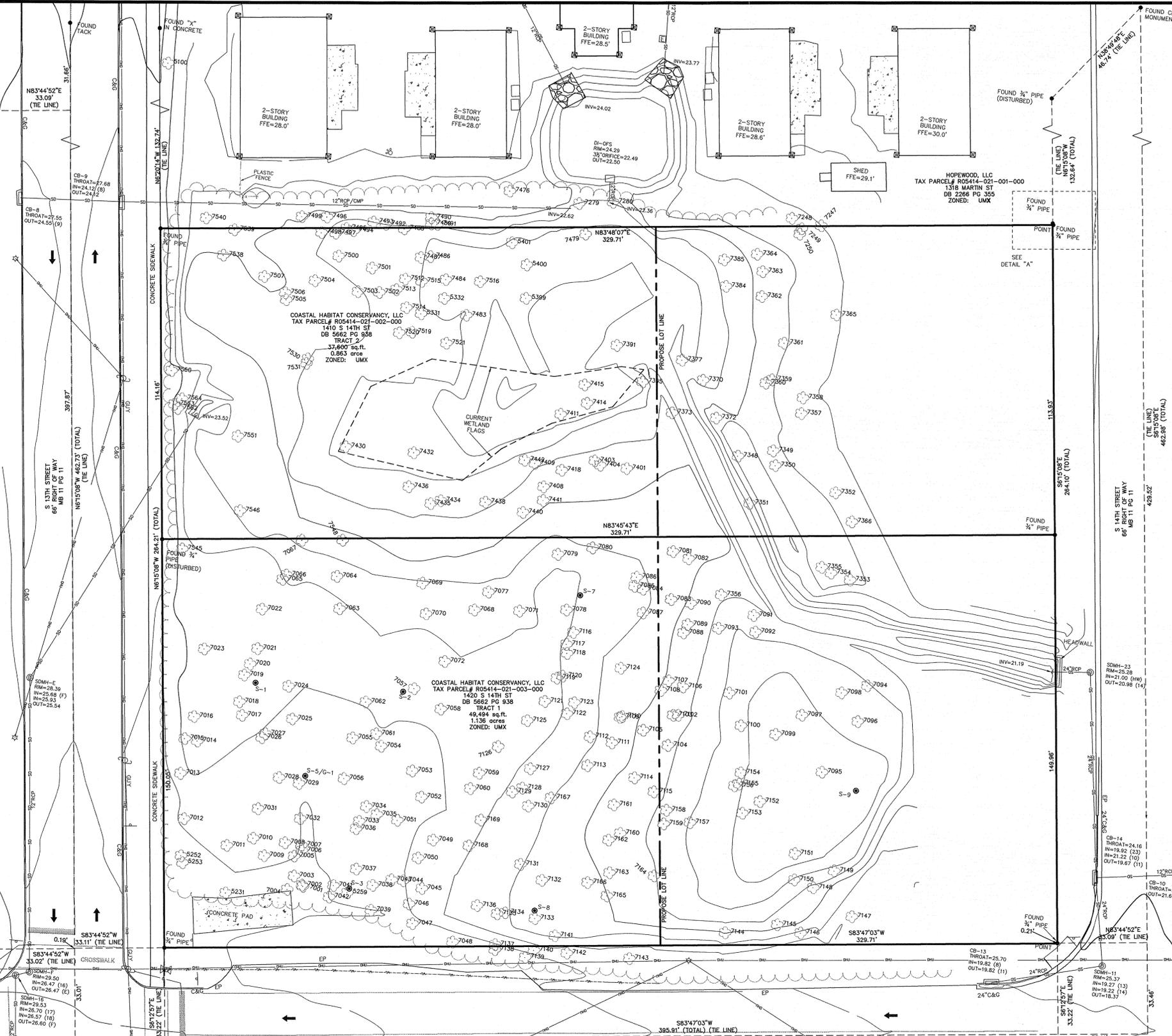
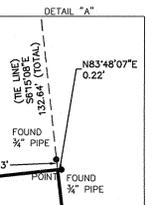


NOTES:
 THE PROPERTY MAY BE SUBJECT TO ANY EASEMENTS AND/OR RIGHTS-OF-WAY.
 SET #4 REBAR AT ALL CORNERS UNLESS OTHERWISE NOTED.
 AREAS COMPUTED BY COORDINATE METHOD.
 UNADJUSTED RATIO OF PRECISION: 1:68,836
 SUBJECT TRACT ZONED: UMX (URBAN MIXED USE)
 ZONING REQUIREMENTS:
 BUILDING
 MINIMUM SETBACK FRONT=0'
 MINIMUM SETBACK SIDE=0'
 MINIMUM SETBACK REAR=0'
 PARKING
 NO MINIMUM PARKING REQUIREMENTS
 BIKE PARKING=5 SPACES OR 1 PER 1,000 sqft OF GROSS FLOOR AREA
 SUBJECT TRACT ADDRESS: 1410 AND 1420 S 14TH ST
 SUBJECT TAX PARCEL: ROS414-021-002-000, ROS414-021-003-000
 SUBJECT TRACT DEED REFERENCE: DB 5662 PG 938
 SUBJECT TRACT FOR THE AREA ENCOMPASSED BY THIS MAP IS: 1.999
 TOTAL ACRES FOR THE AREA ENCOMPASSED BY THIS MAP IS: 1.999
 THE GRAPHIC REPRESENTATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE LOCATIONS SHOWN ON THIS PLAN WERE ESTABLISHED BY THE FIELD LOCATION OF MARKINGS REPRESENTING UNDERGROUND UTILITIES BY OTHERS OR OBTAINING INFORMATION SHOWING APPROXIMATE LOCATION.
 NO DEVELOPMENTAL STUMP HOLES REPORTED TO THIS FIRM WITHIN THE LOTS WHICH MAKE UP THIS MAP.
 NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
 NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
 NO EVIDENCE OF CURRENT OR CONTEMPLATED RIGHT OF WAY OR ROADWAY DESIGN CHANGES FOUND.
 THE NCOS COORDINATES WERE ESTABLISHED BY USING A LEICA SYSTEM 500 GPS, STATIC OBSERVATIONS PROCESSED BY ONLINE POSITIONING USER SERVICE (OPUS)
 FORESITE LAND SURVEY IS NOT AN EXPERT IN DETERMINING THE SPECIES OF TREES SHOWN ON THIS PLAN AND MAY HAVE MISIDENTIFIED SOME TREES.

GARDEN LAKE ESTATES LIMITED
 TAX PARCEL# ROS414-022-001-000
 1400 S 11TH ST
 DB 2866 PG 538
 ZONED: MF-M

LEGEND:
 EP = EDGE OF PAVEMENT
 DIA = DIAMETER
 SW = SIDE WALK
 BE = BACK OF CURB
 C&G = CURB AND GUTTER
 R/W = RIGHT OF WAY
 DB = DEED BOOK
 PG = PLAT BOOK
 PC = PAGE
 NCOS = NORTH CAROLINA GEODETIC SURVEY
 NAVD = NORTH AMERICAN VERTICAL DATUM
 CF = COMBINED GRID FACTOR
 SDMH = STORM DRAINAGE MANHOLE
 SMH = SANITARY SEWER MANHOLE
 RCP = REINFORCED CONCRETE PIPE
 DI = DROP INLET
 CB = CURB INLET
 CMP = CORRUGATED METAL PIPE
 INV = INVERT
 S = STREET SIGN
 U = UTILITY POLE
 CI = CURB INLET
 L = LIGHT POLE
 M = MONUMENT
 E = ELECTRIC PEDESTAL
 SSMH = SANITARY SEWER MANHOLE
 W = WATER VALVE
 SD = STORM DRAIN MANHOLE
 W = WATER METER
 F = FIRE HYDRANT
 SSMH = SANITARY SEWER CLEAN OUT
 DI = DROP INLET
 CB = CURB INLET
 CMP = CORRUGATED METAL PIPE
 INV = INVERT
 U = UNDERGROUND GAS
 C = UNDERGROUND CABLE
 W = WATER LINE
 T = TREE LINE
 SD = STORM DRAINAGE LINE
 S = SEWER LINE
 C = CONCRETE
 T = TREE
 S = SHRUB
 I = IRON (SEE DESCRIPTION)
 TRAFFIC FLOW

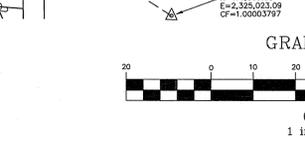
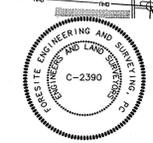
THE PURPOSE OF THIS PLAT IS TO SHOW THE EXISTING TREES IN THE AREA OF PROPOSED IMPROVEMENTS. THE ADDITIONAL INFORMATION SHOWN ON THIS PLAT IS FOR CONCEPTUAL USE ONLY.



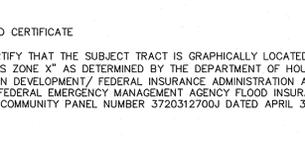
Tree Table	Tree Table	Tree Table	Tree Table
Tree Description	Tree Description	Tree Description	Tree Description
5100 TREE 26" OAK	7059 TREE 26" PINE	7120 TREE 6" PERSEMEN	7370 TREE 6" MAGNOLIA
5231 TREE 18" OAK	7060 TREE 30" PINE	7130 TREE TWIN 6" PERSEMEN	7372 TREE 8" OAK
5252 TREE 10" OAK	7061 TREE 10" PERSEMEN	7131 TREE 6" OAK	7373 TREE 8" BEECH
5253 TREE 18" OAK	7062 TREE 12" OAK	7132 TREE 10" OAK	7377 TREE 22" OAK
5259 TREE 8" OAK	7063 TREE 26" PINE	7133 TREE 6" OAK	7384 TREE 6" MAGNOLIA
5331 TREE 24" PINE	7064 TREE 6" BIRCH	7134 TREE 7" OAK	7385 TREE 6" MAGNOLIA
5332 TREE 24" PINE	7065 TREE 6" BIRCH	7135 TREE 6" OAK	7391 TREE 14" OAK
5399 TREE 16" PINE	7066 TREE 6" BIRCH	7136 TREE TWIN 6" OAK	7395 TREE 14" BIRCH
5400 TREE 10" MAPLE	7067 TREE 10" BIRCH	7137 TREE 6" OAK	7401 TREE 24" PINE
5401 TREE 30" OAK	7068 TREE 6" OAK	7138 TREE 6" OAK	7403 TREE 8" BEECH
7001 TREE 8" OAK	7069 TREE 6" OAK	7139 TREE 6" OAK	7404 TREE 6" MAGNOLIA
7002 TREE 12" OAK	7070 TREE 6" OAK	7140 TREE 6" OAK	7408 TREE 10" PINE
7003 TREE 6" OAK	7071 TREE 6" OAK	7141 TREE 6" OAK	7409 TREE 16" PINE
7004 TREE 6" OAK	7072 TREE 10" PERSEMEN	7142 TREE 6" OAK	7411 TREE 12" MAPLE
7005 TREE 12" OAK	7073 TREE 12" PINE	7143 TREE 6" OAK	7414 TREE 14" OAK
7006 TREE 14" OAK	7074 TREE 20" PINE	7144 TREE 10" OAK	7415 TREE 24" OAK
7007 TREE 6" OAK	7075 TREE 22" PINE	7145 TREE 8" OAK	7418 TREE 8" MAGNOLIA
7008 TREE 12" OAK	7076 TREE 20" PINE	7146 TREE TWIN 6"	7430 TREE 6" BEECH
7009 TREE 10" OAK	7077 TREE 26" PINE	7147 TREE 8" OAK	7432 TREE 10" MAPLE
7010 TREE 14" OAK	7078 TREE 10" MAGNOLIA	7148 TREE 8" OAK	7434 TREE 24" PINE
7011 TREE 6" OAK	7079 TREE 6" OAK	7149 TREE 6" MAGNOLIA	7435 TREE 12" PINE
7012 TREE 8" OAK	7080 TREE 6" OAK	7150 TREE 24" OAK	7436 TREE 24" PINE
7013 TREE 12" OAK	7081 TREE 6" OAK	7151 TREE 6" BEECH	7438 TREE 6" BEECH
7014 TREE 10" OAK	7082 TREE 16" PINE	7152 TREE 20" PINE	7440 TREE 6" BIRCH
7015 TREE 8" OAK	7083 TREE 6" OAK	7153 TREE 8" OAK	7441 TREE 6" MAGNOLIA
7016 TREE 6" OAK	7084 TREE 6" OAK	7154 TREE 12" OAK	7442 TREE 8" OAK
7017 TREE 10" OAK	7085 TREE 6" OAK	7155 TREE 10" OAK	7476 TREE 6" BEECH
7018 TREE 6" OAK	7086 TREE 6" OAK	7156 TREE 8" OAK	7479 TREE 6" OAK
7019 TREE 8" OAK	7087 TREE 26" PINE	7157 TREE 28" PINE	7483 TREE 8"
7020 TREE 8" OAK	7088 TREE 6" OAK	7158 TREE 6" OAK	7484 TREE 6" OAK
7021 TREE 12" OAK	7089 TREE 6" OAK	7159 TREE 6" BEECH	7486 TREE 18" PINE
7022 TREE 10" OAK	7090 TREE 16" PINE	7160 TREE 10" OAK	7487 TREE 6" OAK
7023 TREE 10" CEDAR	7091 TREE 26" PINE	7161 TREE 14" OAK	7488 TREE 6" OAK
7024 TREE 10" OAK	7092 TREE 16" OAK	7162 TREE 6" OAK	7489 TREE 6" BIRCH
7025 TREE 14" OAK	7093 TREE 16" PINE	7163 TREE 6" OAK	7490 TREE 6" OAK
7026 TREE 10" OAK	7094 TREE QUAD 6" CLUSTER	7164 TREE TWIN 6" OAK	7491 TREE 10" MAGNOLIA
7027 TREE 8" MAGNOLIA	7095 TREE 22" PINE	7165 TREE 16" PERSEMEN	7492 TREE 6" OAK
7028 TREE 8" OAK	7096 TREE 6" OAK	7166 TREE 8" OAK	7493 TREE 12" MAGNOLIA
7029 TREE 8" OAK	7097 TREE 6" OAK	7167 TREE 8" MAPLE	7494 TREE 8" MAGNOLIA
7030 TREE 6" OAK	7098 TREE 6" OAK	7168 TREE 8" OAK	7495 TREE 8" MAGNOLIA
7031 TREE 6" OAK	7099 TREE 6" OAK	7169 TREE 6" OAK	7496 TREE 8" MAGNOLIA
7032 TREE 6" OAK	7100 TREE 6" OAK	7170 TREE 6" OAK	7497 TREE 8" MAGNOLIA
7033 TREE 10" OAK	7101 TREE 6" OAK	7171 TREE 6" OAK	7498 TREE 6" BEECH
7034 TREE 6" OAK	7102 TREE 6" OAK	7172 TREE 6" OAK	7499 TREE 8" MAGNOLIA
7035 TREE 12" OAK	7103 TREE 6" OAK	7173 TREE 6" OAK	7500 TREE 8" MAGNOLIA
7036 TREE 18" OAK	7104 TREE 6" OAK	7174 TREE 6" OAK	7501 TREE 6"
7037 TREE 16" OAK	7105 TREE 16" PINE	7175 TREE 6" OAK	7502 TREE 6" OAK
7038 TREE 6" OAK	7106 TREE 26" PINE	7176 TREE 6" OAK	7503 TREE 16" OAK
7039 TREE 6" OAK	7107 TREE 10" OAK	7177 TREE 6" OAK	7504 TREE 14" OAK
7040 TREE 20" OAK	7108 TREE 6" OAK	7178 TREE 6" OAK	7505 TREE 8" BEECH
7041 TREE 6" OAK	7109 TREE 6" OAK	7179 TREE 6" OAK	7506 TREE 14" OAK
7042 TREE 6" OAK	7110 TREE 6" OAK	7180 TREE 6" OAK	7507 TREE 10" OAK
7043 TREE 10" OAK	7111 TREE 24" PINE	7181 TREE 20" PINE	7512 TREE 8" OAK
7044 TREE 6" OAK	7112 TREE 14" PINE	7182 TREE 6" OAK	7513 TREE 10" OAK
7045 TREE 10" OAK	7113 TREE 8" OAK	7183 TREE 6" OAK	7514 TREE 6" OAK
7046 TREE 6" OAK	7114 TREE 8" OAK	7184 TREE 6" OAK	7515 TREE 18" PINE
7047 TREE 6" OAK	7115 TREE 10" OAK	7185 TREE 6" OAK	7516 TREE 6" MAPLE
7048 TREE 6" OAK	7116 TREE 6" OAK	7186 TREE 6" OAK	7519 TREE 14" OAK
7049 TREE 6" OAK	7117 TREE 6" PERSEMEN	7187 TREE 6" OAK	7520 TREE 6" BEECH
7050 TREE 10" OAK	7118 TREE 8" PERSEMEN	7188 TREE 6" OAK	7521 TREE 16" OAK
7051 TREE 6" OAK	7119 TREE 10" OAK	7189 TREE 6" OAK	7530 TREE 6" MAGNOLIA
7052 TREE 6" OAK	7120 TREE 12" PINE	7190 TREE 6" OAK	7531 TREE 6" MAGNOLIA
7053 TREE 6" OAK	7121 TREE 6" OAK	7191 TREE 6" OAK	7538 TREE 8" BEECH
7054 TREE 6" OAK	7122 TREE 20" PINE	7192 TREE 6" OAK	7539 TREE 6"
7055 TREE 6" OAK	7123 TREE 6" OAK	7193 TREE 6" OAK	7540 TREE 12"
7056 TREE 10" OAK	7124 TREE 6" OAK	7194 TREE 6" OAK	
7057 TREE 6" OAK	7125 TREE 6" OAK	7195 TREE 6" OAK	
7058 TREE 24" OAK	7126 TREE 6" OAK	7196 TREE 6" OAK	
	7127 TREE 10" BEECH	7197 TREE 6" OAK	
	7128 TREE 10" PERSEMEN	7198 TREE 6" OAK	

FORESITE ENGINEERING & SURVEYING
 5950 Fairview Road
 Suite 100
 Charlotte, NC 28210
 (704) 553-6171
 (704) 553-8860 Fax

THIS DRAWING IS THE PROPERTY OF FORESITE ENGINEERING AND LAND SURVEYING AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.



FLOOD CERTIFICATE
 I CERTIFY THAT THE SUBJECT TRACT IS GRAPHICALLY LOCATED IN "OTHER AREAS ZONE X" AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT / FEDERAL INSURANCE ADMINISTRATION AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 3720312700J DATED APRIL 3, 2006.



I, Cary Brooks, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book (SEE PLAT), Page (SEE PLAT), etc.) and (Map Book (SEE PLAT), Page (SEE PLAT)) that the boundaries not surveyed are clearly indicated as drawn from information found in Book (SEE PLAT), Page (SEE PLAT); that the ratio of precision as calculated is 1:68,836; that this plat was prepared in accordance with the Standards of Practice for Land Surveying in North Carolina (21 NCAC 86.1600).
 This is my day of September 2, 2015.

CONTACT INFORMATION
 C. Gary Brooks, PLS NC/SC/VA
 Foresite Land Surveying
 5950 Fairview Road, Suite 100
 Charlotte, NC 28210
 Phone (704) 553-6171
 Fax (704) 553-8860
 cgbrooks@foresiteengineering.com

CLIENT:
DURBAN DEVELOPMENT, LLC
 3735 BEAM ROAD, SUITE B
 CHARLOTTE, NC 28217

NO.	DATE	REVISION	BY

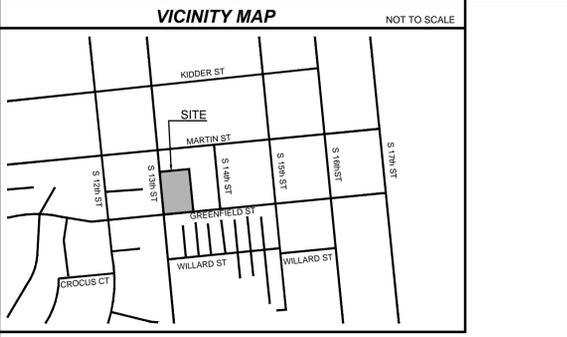
TREE SURVEY OF 1410 AND 1420 SOUTH 14TH STREET
 OWNER: COASTAL HABITAT CONSERVANCY, LLC
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY
 NORTH CAROLINA

PROJECT NO. 132315501
 SCALE 1" = 20'
 DATE 10/28/14 THRU 1/29/15
 DRAWN BY JTC
 CHECKED BY JTC
 DATE OF SURVEY 10/28/14 THRU 1/29/15
 DRAWING NO. 132315501-TDS
 WILMINGTON-WKI TREE SURVEY.dwg

PROJECT SUMMARY

PROPERTY
 PROJECT NAME: GREENFIELD - FDS
 OWNER/DEVELOPER/APPLICANT: WILMINGTON FDS 712614, LLC
 PLANS PREPARED BY: BURTON ENGINEERING ASSOCIATES PHONE #: (704)553-8881
 ZONING: UMX PETITION NO.: N/A TAX PARCEL#: R05414-021-002-000/R05414-021-003-000
 JURISDICTION: CITY OF WILMINGTON WATERSHED DISTRICT: N/A
 CAMA LAND USE CLASSIFICATION: DEVELOPED
 FEMA PANEL No.: 3720312700J FEMA PANEL DATE: 04/03/06 FLOOD ZONE: OUT
 LOT SIZE: 1.11 ACRES
SETBACK REQUIREMENTS
 STREET SETBACK (GREENFIELD STREET): 5 FT. FROM R/W
 INTERIOR SIDE YARD: 5 FT.
 REAR YARD: 5 FT.
REQUIRED BUFFERS:
 FRONT: (NO) YES ___ FT. REAR: (NO) YES ___ FT.
 SIDE (STREET): (NO) YES ___ FT. SIDE (STREET): (NO) YES ___ FT.
BUILDING
 PROPOSED USE: RETAIL SALES LESS THAN OR EQUAL TO 10,000 SQUARE FEET
 BUILDING HEIGHT: 26.0 FEET, STORIES: 1
 BUILDING COVERAGE: 8,240 SQ. FT. GROSS FLOOR AREA: 8,240 SQ. FT.
WATER & SEWER CAPACITY
 WATER: 0 GPD (CURRENT) WATER: 200 GPD (PROPOSED)
 SEWER: 0 GPD (CURRENT) SEWER: 200 GPD (PROPOSED)
SOILS
 APPROX. 62% OF SITE: BAYMEADE-URBAN LAND COMPLEX (BH)
 APPROX. 38% OF SITE: PAMLICO MUCK (PM)

- NOTES**
1. TOPOGRAPHY PER FORESITE SURVEYING SURVEY DATED 09/18/15.
 2. THIS SITE IS NOT WITHIN A 100-YEAR FLOOD PLAIN (BASED ON FEMA PANEL No. 3720312700J DATED 04/03/06).
 3. THIS SITE CONTAINS NO CAMA AREAS OF CONCERN (AEC).
 4. THIS SITE CONTAINS CONSERVATION RESOURCES: 0.064 ACRES OF HEADWATER SWAMP WETLANDS.
 5. THIS SITE IS NOT RECOGNIZED AS A LOCAL, STATE OR FEDERAL HISTORIC OR ARCHEOLOGICAL SITE.
 6. THIS SITE CONTAINS NO CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS.
 7. THIS SITE CONTAINS NO PROTECTED SPECIES.
 8. THIS SITE CONTAINS NO EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES.
 9. THIS SITE CONTAINS 0.064 ACRES OF U.S. ARMY CORPS OF ENGINEERS SECTION 404 WETLANDS.



CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

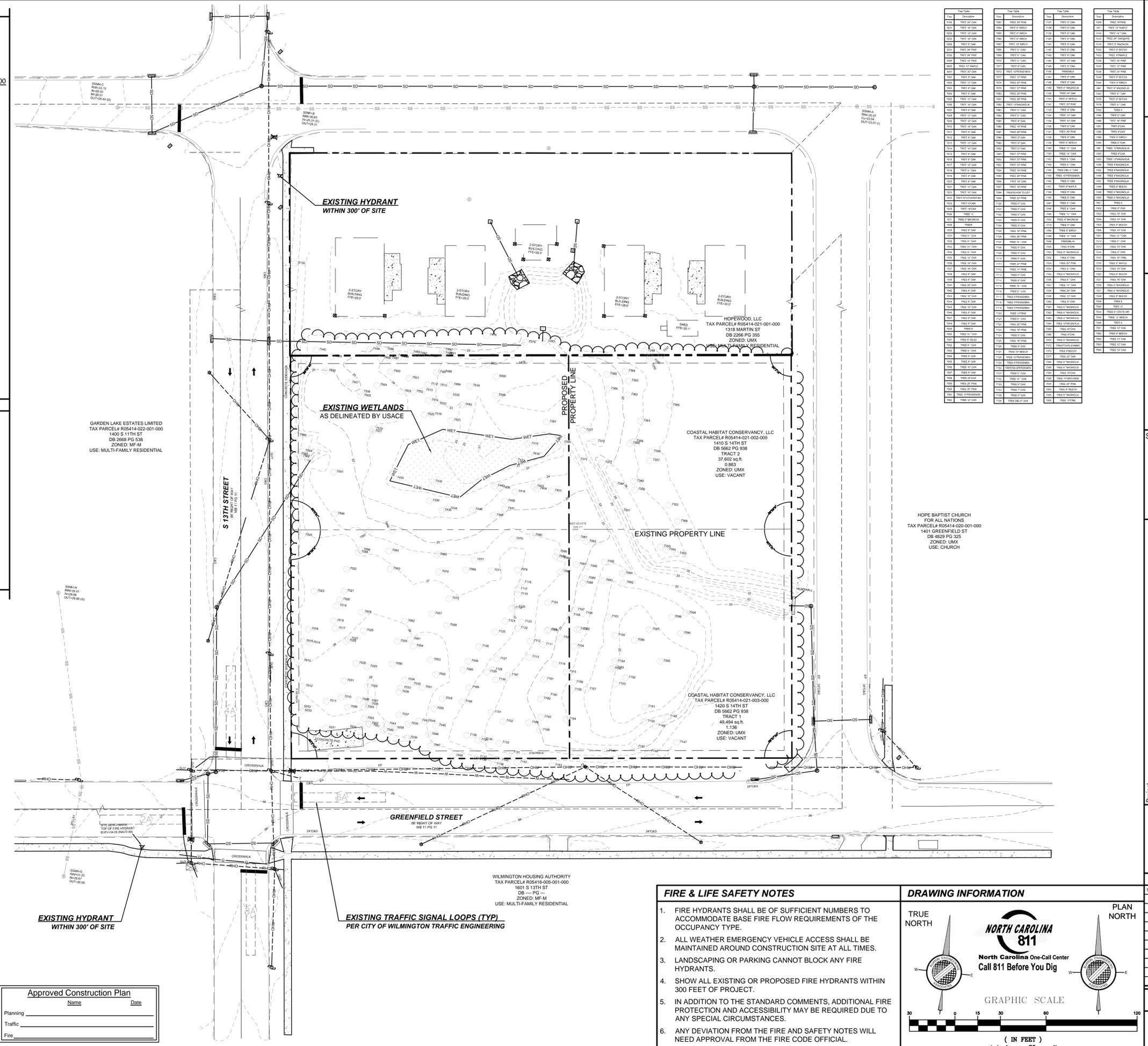
Date: _____ Permit # _____
 Signed: _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____

OWNER/DEVELOPER:
 Wilmington FDS 712614, LLC
 Contact: Jason Mathis
 106 Foster Avenue
 Charlotte, NC 28203
 Phone: (704) 319-8347

ENGINEER:
 Burton Engineering Associates
 Carlton Burton; Luke Bugenske
 5950 Fairview Road, Suite 100
 Charlotte, NC 28210
 Phone: 704-553-8881



Approved Construction Plan		
Name	Date	
Planning	_____	_____
Traffic	_____	_____
Fire	_____	_____

FIRE & LIFE SAFETY NOTES

1. FIRE HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE OCCUPANCY TYPE.
2. ALL WEATHER EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
3. LANDSCAPING OR PARKING CANNOT BLOCK ANY FIRE HYDRANTS.
4. SHOW ALL EXISTING OR PROPOSED FIRE HYDRANTS WITHIN 300 FEET OF PROJECT.
5. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES.
6. ANY DEVIATION FROM THE FIRE AND SAFETY NOTES WILL NEED APPROVAL FROM THE FIRE CODE OFFICIAL.

DRAWING INFORMATION

TRUE NORTH

NORTH CAROLINA 811
 North Carolina One-Call Center
 Call 811 Before You Dig

PLAN NORTH

GRAPHIC SCALE

(IN FEET)
 1 inch = 30 ft.

Tree No.	Tree Size	Tree Species	Tree No.	Tree Size	Tree Species
101	12"	DOGWOOD	101	12"	DOGWOOD
102	12"	DOGWOOD	102	12"	DOGWOOD
103	12"	DOGWOOD	103	12"	DOGWOOD
104	12"	DOGWOOD	104	12"	DOGWOOD
105	12"	DOGWOOD	105	12"	DOGWOOD
106	12"	DOGWOOD	106	12"	DOGWOOD
107	12"	DOGWOOD	107	12"	DOGWOOD
108	12"	DOGWOOD	108	12"	DOGWOOD
109	12"	DOGWOOD	109	12"	DOGWOOD
110	12"	DOGWOOD	110	12"	DOGWOOD
111	12"	DOGWOOD	111	12"	DOGWOOD
112	12"	DOGWOOD	112	12"	DOGWOOD
113	12"	DOGWOOD	113	12"	DOGWOOD
114	12"	DOGWOOD	114	12"	DOGWOOD
115	12"	DOGWOOD	115	12"	DOGWOOD
116	12"	DOGWOOD	116	12"	DOGWOOD
117	12"	DOGWOOD	117	12"	DOGWOOD
118	12"	DOGWOOD	118	12"	DOGWOOD
119	12"	DOGWOOD	119	12"	DOGWOOD
120	12"	DOGWOOD	120	12"	DOGWOOD
121	12"	DOGWOOD	121	12"	DOGWOOD
122	12"	DOGWOOD	122	12"	DOGWOOD
123	12"	DOGWOOD	123	12"	DOGWOOD
124	12"	DOGWOOD	124	12"	DOGWOOD
125	12"	DOGWOOD	125	12"	DOGWOOD
126	12"	DOGWOOD	126	12"	DOGWOOD
127	12"	DOGWOOD	127	12"	DOGWOOD
128	12"	DOGWOOD	128	12"	DOGWOOD
129	12"	DOGWOOD	129	12"	DOGWOOD
130	12"	DOGWOOD	130	12"	DOGWOOD
131	12"	DOGWOOD	131	12"	DOGWOOD
132	12"	DOGWOOD	132	12"	DOGWOOD
133	12"	DOGWOOD	133	12"	DOGWOOD
134	12"	DOGWOOD	134	12"	DOGWOOD
135	12"	DOGWOOD	135	12"	DOGWOOD
136	12"	DOGWOOD	136	12"	DOGWOOD
137	12"	DOGWOOD	137	12"	DOGWOOD
138	12"	DOGWOOD	138	12"	DOGWOOD
139	12"	DOGWOOD	139	12"	DOGWOOD
140	12"	DOGWOOD	140	12"	DOGWOOD
141	12"	DOGWOOD	141	12"	DOGWOOD
142	12"	DOGWOOD	142	12"	DOGWOOD
143	12"	DOGWOOD	143	12"	DOGWOOD
144	12"	DOGWOOD	144	12"	DOGWOOD
145	12"	DOGWOOD	145	12"	DOGWOOD
146	12"	DOGWOOD	146	12"	DOGWOOD
147	12"	DOGWOOD	147	12"	DOGWOOD
148	12"	DOGWOOD	148	12"	DOGWOOD
149	12"	DOGWOOD	149	12"	DOGWOOD
150	12"	DOGWOOD	150	12"	DOGWOOD
151	12"	DOGWOOD	151	12"	DOGWOOD
152	12"	DOGWOOD	152	12"	DOGWOOD
153	12"	DOGWOOD	153	12"	DOGWOOD
154	12"	DOGWOOD	154	12"	DOGWOOD
155	12"	DOGWOOD	155	12"	DOGWOOD
156	12"	DOGWOOD	156	12"	DOGWOOD
157	12"	DOGWOOD	157	12"	DOGWOOD
158	12"	DOGWOOD	158	12"	DOGWOOD
159	12"	DOGWOOD	159	12"	DOGWOOD
160	12"	DOGWOOD	160	12"	DOGWOOD
161	12"	DOGWOOD	161	12"	DOGWOOD
162	12"	DOGWOOD	162	12"	DOGWOOD
163	12"	DOGWOOD	163	12"	DOGWOOD
164	12"	DOGWOOD	164	12"	DOGWOOD
165	12"	DOGWOOD	165	12"	DOGWOOD
166	12"	DOGWOOD	166	12"	DOGWOOD
167	12"	DOGWOOD	167	12"	DOGWOOD
168	12"	DOGWOOD	168	12"	DOGWOOD
169	12"	DOGWOOD	169	12"	DOGWOOD
170	12"	DOGWOOD	170	12"	DOGWOOD
171	12"	DOGWOOD	171	12"	DOGWOOD
172	12"	DOGWOOD	172	12"	DOGWOOD
173	12"	DOGWOOD	173	12"	DOGWOOD
174	12"	DOGWOOD	174	12"	DOGWOOD
175	12"	DOGWOOD	175	12"	DOGWOOD
176	12"	DOGWOOD	176	12"	DOGWOOD
177	12"	DOGWOOD	177	12"	DOGWOOD
178	12"	DOGWOOD	178	12"	DOGWOOD
179	12"	DOGWOOD	179	12"	DOGWOOD
180	12"	DOGWOOD	180	12"	DOGWOOD
181	12"	DOGWOOD	181	12"	DOGWOOD
182	12"	DOGWOOD	182	12"	DOGWOOD
183	12"	DOGWOOD	183	12"	DOGWOOD
184	12"	DOGWOOD	184	12"	DOGWOOD
185	12"	DOGWOOD	185	12"	DOGWOOD
186	12"	DOGWOOD	186	12"	DOGWOOD
187	12"	DOGWOOD	187	12"	DOGWOOD
188	12"	DOGWOOD	188	12"	DOGWOOD
189	12"	DOGWOOD	189	12"	DOGWOOD
190	12"	DOGWOOD	190	12"	DOGWOOD
191	12"	DOGWOOD	191	12"	DOGWOOD
192	12"	DOGWOOD	192	12"	DOGWOOD
193	12"	DOGWOOD	193	12"	DOGWOOD
194	12"	DOGWOOD	194	12"	DOGWOOD
195	12"	DOGWOOD	195	12"	DOGWOOD
196	12"	DOGWOOD	196	12"	DOGWOOD
197	12"	DOGWOOD	197	12"	DOGWOOD
198	12"	DOGWOOD	198	12"	DOGWOOD
199	12"	DOGWOOD	199	12"	DOGWOOD
200	12"	DOGWOOD	200	12"	DOGWOOD

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
 BUILDING VALUES
 106 FOSTER AVENUE
 CHARLOTTE, NC 28203
 (P) 704.319.8347

BURTON ENGINEERING ASSOCIATES
 CIVIL ENGINEERS
 LAND PLANNERS
 5950 Fairview Rd., Suite 100, Charlotte, NC 28210
 (704) 553-8881 • Fax (704) 553-8660
 Firm License # 1557

Seal: **BURTON ENGINEERING ASSOCIATES**
 PROFESSIONAL SEAL
 CARLTON T. BURTON
 11/10/2015

GREENFIELD - FDS
 1313 GREENFIELD STREET
 WILMINGTON, NORTH CAROLINA
SITE INVENTORY MAP

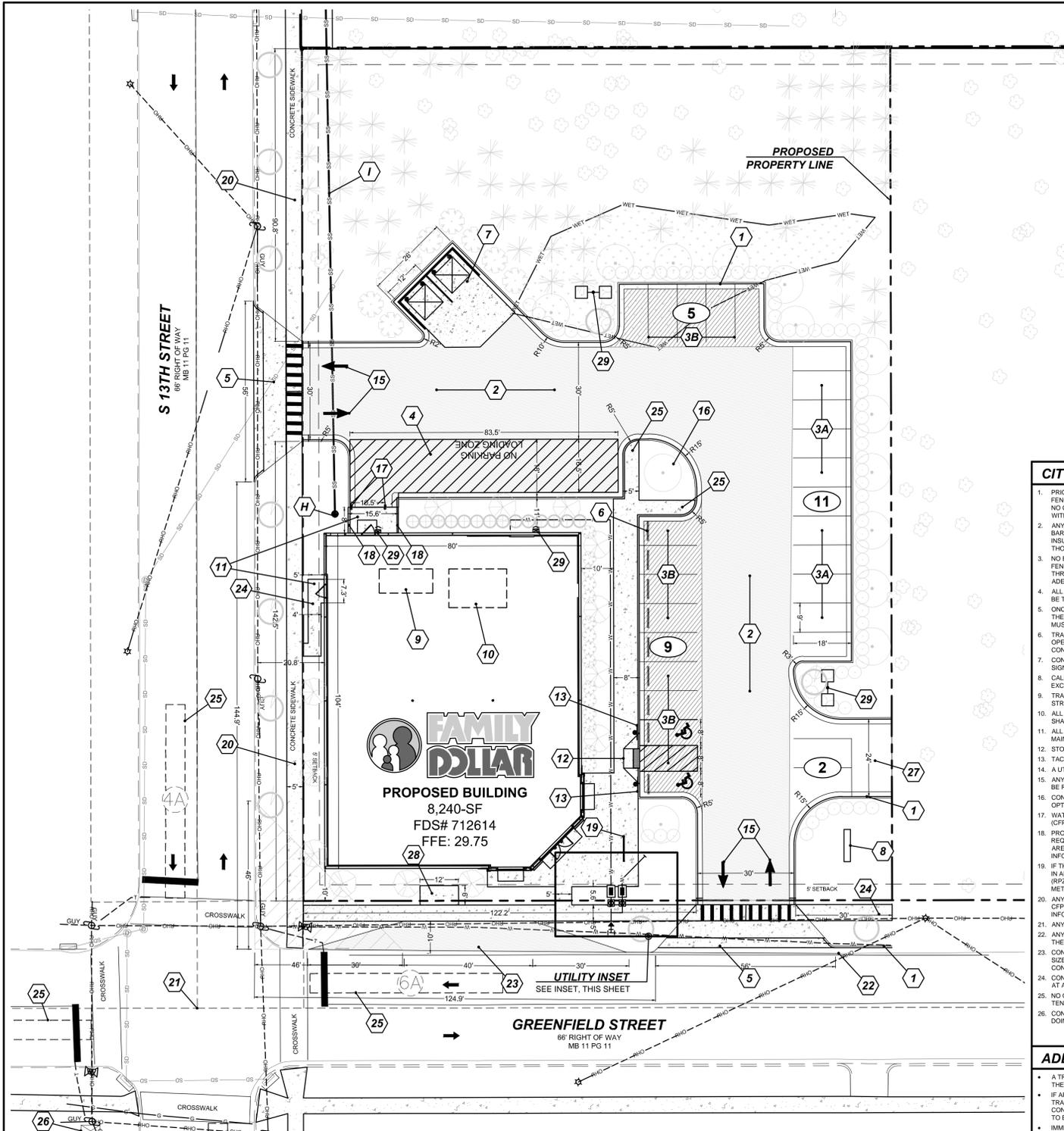
Project: _____
 Sheet Title: _____

CTB
 Engineer
 LJB
 Drawn By
 9/21/15
 Date

Revisions
 1-11/10/15 PER TRC & CP/UA COMMENTS

Project Number
 487-064

C2.1
 Sheet 3 of 21



Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

PARKING REQUIREMENTS	
MINIMUM REQUIRED VEHICLE PARKING: NO MINIMUM REQUIRED	
MAXIMUM ALLOWED VEHICLE PARKING: 1 PER 200 SF GFA x 8.240 SF = 41 ALLOWED SPACES	
PROPOSED NEW VEHICLE PARKING (ON-SITE): TOTAL PROPOSED = 27 SPACES REGULAR SPACES = 23 SPACES COMPACT SPACES = 0 SPACES TEMPORARY SPACES = 2 SPACES ACCESSIBLE SPACES = 2 SPACES (INCLUDING 1 VAN)	
REQUIRED LOADING SPACE: 1 LOADING SPACE PROVIDED, SIZED PER CITY OF WILMINGTON STANDARDS	
BICYCLE PARKING 1 PER 1,000 GSF = 9 REQUIRED SPACES 9 BICYCLE SPACES PROVIDED	

IMPERVIOUS CALCULATIONS	
BUILDING	8,240 S.F.
PAVEMENT	18,521 S.F.
TOTAL IMPERVIOUS	28,970 S.F.
TOTAL SITE	48,397 S.F.
TOTAL GREEN SPACE	19,427 S.F.
IMPERVIOUS PERCENTAGE	59.86%
PRE-DEVELOPMENT IMPERVIOUS	0%

BUILDING COVERAGE	
PROPOSED BUILDING	8,240 S.F.
TOTAL SITE	48,397 S.F.
BUILDING COVERAGE	17.03%
PRE-DEVELOPMENT COVERAGE	0%

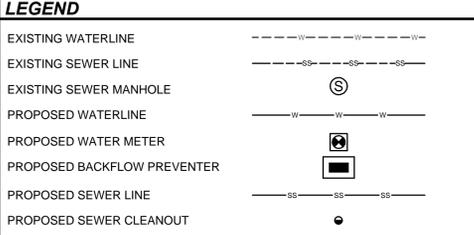
- ### SITE KEYS
- NEW 2'-0" CONCRETE CURB AND GUTTER. SEE DETAIL ON SHEET C8.0
 - NEW HEAVY DUTY ASPHALT PAVEMENT. SEE GENERAL NOTES ON SHEET THIS SHEET.
 - NEW NORMAL DUTY ASPHALT PAVEMENT. SEE GENERAL NOTES ON SHEET THIS SHEET.
 - NEW PERVIOUS PAVEMENT. SEE PAVEMENT SECTION ON SHEET THIS SHEET.
 - NEW LOADING SPACE PER ZONING AND TENANT REQUIREMENTS. "NO PARKING ZONING" TO BE PAINTED IN WHITE, 24" STENCILED LETTERING.
 - NEW DRIVEWAY. DRIVEWAY TO BE TO CITY OF WILMINGTON STANDARDS. SEE DETAIL SD 3-03 ON SHEET C8.0
 - NEW CONCRETE WHEEL STOPS. ALL WHEEL STOPS TO BE DOWELED TO PAVEMENT AND LOCATED 2' FROM FACE OF OBSTRUCTION. EDGE OF PAVEMENT AND FACE OF CURB (2.5' FROM BACK OF CURB). PAINT WHEEL STOPS SAFETY YELLOW.
 - DUMPS/STER PAD & APRON. DUMPS/STER PAD AND APRON SHALL BE MIN. 8" 3,500 PSI CONCRETE SLAB REINFORCED WITH #4 REBARS @ 12" ON CENTER IN EACH DIRECTION LOCATED IN THE UPPER THIRD OF SLAB. PROVIDE (2) PIPE BOLLARDS (PER FDS DETAIL) AT REAR OF PAD-BEHIND EACH DUMPS/STER. IF AN ENCLOSURE IS REQUIRED BY LOCAL CODE OR ORDINANCE, PROVIDE A DETAIL FOR FAMILY DOLLAR TO REVIEW AND APPROVE. ALL ENCLOSURES SHALL HAVE GATES CONSTRUCTED OUT OF STEEL FRAME TUBING (MINIMUM) WITH PIVOT HINGES MOUNTED ON 6" PIPE BOLLARDS. SET PIPE BOLLARDS IN MINIMUM 12" x 12" x 3'-0" DEEP CONCRETE FILL FOOTING. PROPER LATCHING & LOCK HARDWARE SHALL BE PROVIDED IN ORDER TO RESTRAIN AND/OR LOCK ENCLOSURE GATES. SEE DETAIL SHEET C8.0
 - APPROXIMATE LOCATION OF NEW FAMILY DOLLAR PROTOTYPICAL MONUMENT SIGN "MS-2C"
 - ROOF MOUNTED COOLER CONDENSER (REFER TO ARCHITECTURAL PLANS).
 - ROOF MOUNTED HVAC (REFER TO ARCHITECTURAL PLANS).
 - NEW CONCRETE PAD AT DELIVERY & EMERGENCY EXIT DOORS PER FAMILY DOLLAR SPECIFICATIONS.
 - NEW ACCESSIBLE RAMP/DEPRESSED CURB, IN ACCORDANCE WITH N.C. ACCESSIBILITY CODE, ADA & CITY OF WILMINGTON REQUIREMENTS. SEE DETAIL ON SHEET C8.0
 - NEW ACCESSIBLE PARKING SIGNAGE. SEE DETAIL ON SHEET C8.0
 - NEW STOP BAR PER MUTCD STANDARDS.
 - 2" SOLID WHITE PAINTED DIRECTIONAL ARROWS. SEE DETAIL ON SHEET C8.0
 - LANDSCAPE ISLAND (MULCH)
 - NEW PIPE BOLLARD. SEE DETAIL ON SHEET C8.0. COORDINATE WITH ARCHITECTURAL PLANS.
 - NEW CURB TO TAPER TO BUILDING.
 - BICYCLE PARKING: NEW 9-BIKE STEEL WAVE RACK TO BE BOLTED TO CONCRETE.
 - EXISTING 5' SIDEWALK.
 - EXISTING TRAFFIC SIGNALS.
 - NEW EDGE OF PAVEMENT TO TIE INTO EXISTING PAVEMENT.
 - NEW BUS STOP PER CITY OF WILMINGTON REQUIREMENTS.
 - NEW CONCRETE SIDEWALK, PER CITY OF WILMINGTON STANDARDS. SEE DETAIL ON SHEET C8.0
 - EXISTING TRAFFIC SIGNAL LOOPS PER CITY OF WILMINGTON TRAFFIC ENGINEERING (NOT FIELD VERIFIED)
 - EXISTING TRAFFIC CONTROLLER CABINET PER CITY OF WILMINGTON TRAFFIC ENGINEERING (NOT FIELD VERIFIED)
 - NEW SIGN WITH THE FOLLOWING TEXT: "FUTURE CONNECTION WILL BE OPENED WHEN THE ADJACENT PROPERTY DEVELOPS"
 - NEW 6" x 12" CONCRETE PAD FOR BUS STOP (4" THICK AND AT LEAST 3,000 PSI). BENCH AND TRASH CAN TO BE PROVIDED BY WALK TRANSIT.
 - NEW LIGHTING. SEE ARCHITECTURAL PLANS FOR DETAILS.

- ### GENERAL NOTES
- ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 4000 PSI CONCRETE W/ 1" DEEP GROOVE CONTROL JOINTS AT INTERVALS INDICATED ON SITE PLAN. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL PLAN FOR EXACT LOCATION & SIZE OF WATER, SEWER CONNECTIONS & ROOF DOWNSPOUTS.
 - SEE ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS, FEATURES, STAIRS & HANDRAILS, ETC.
 - DRIVEWAYS SHALL BE CONSTRUCTED TO STATE & LOCAL CODES.
 - ACCESSIBLE PARKING:
 - AN ACCESSIBLE PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.
 - HANDRAILS ARE TO BE PROVIDED ON ACCESSIBLE RAMPS WITH A DROP OF 2" OR MORE.
 - MAX. SLOPE FOR AN ACCESSIBLE ROUTE (SIDEWALK) SHALL BE 5.0% (1:20).
 - ALL ACCESSIBLE PARKING SPACES SHALL DISPLAY APPROVED RESERVED PARKING SPACE SIGNS AS PRESCRIBED BY THE N.C.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & APPROVED FOR USE UNDER N.C. GENERAL STATUTE 77-8.
 - R7-40 "PENALTY" SIGN & HERE APPLICABLE, "VAN ACCESSIBLE" SIGN.
 - THE CONTRACTOR SHALL VISIT THE SITE & FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS BEFORE SUBMITTING HIS BID.
 - ALL DISTANCES & DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK.
 - THE PROPOSED GRADES AS SHOWN IN THESE PLANS ARE THE FINISHED GRADES UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL SUPPLY & ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL & VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL & PROVIDE ALL BENCHMARKS, STAKES, GRADES, & LINES NECESSARY FOR COORDINATION. CONTRACTOR(S) SHALL PROVIDE ADEQUATE SUPERVISION TO PREVENT DAMAGE & MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE & BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - ALL EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
 - ALL EXISTING PAVEMENT & CONCRETE TO BE JOINED SHALL BE SAW-CUT.
 - BURNING ON OR NEAR THE JOB SITE WILL NOT BE PERMITTED.
 - ALL FILL SHALL BE COMPACTED TO 95% PER ASTM D 698. SEE GEOTECHNICAL REPORT FOR ADDITIONAL FILL REQUIREMENTS.
 - UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL & DEBRIS.
 - LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING. WRITTEN PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
 - COORDINATE ALL CURB & STREET GRADES IN INTERSECTION WITH CITY OF WILMINGTON COUNTY INSPECTOR.
 - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM SLOPE OF 0.5% ON CURB.
 - INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. SEE SHEETS C8.0 & C8.1 FOR EROSION CONTROL PLANS.
 - THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES & OTHER ABOVE & BELOW-GRADE IMPROVEMENTS ARE APPROXIMATELY AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE & INVERT ELEVATIONS OF SUCH PRIOR TO START OF CONSTRUCTION.
 - ALL ROAD IMPROVEMENTS AT GREENFIELD STREET & S 13TH STREET TO BE COORDINATED WITH CITY OF WILMINGTON PRIOR TO CONSTRUCTION.
 - PE SEALED SHOR DRAWINGS FOR RETAINING WALL(S) MUST BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEER PRIOR TO CONSTRUCTION.
 - NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE R/W REQUIRE A R/W ENCROACHMENT AGREEMENT WITH THE CITY OF WILMINGTON BEFORE INSTALLATION.
 - THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD. IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION. SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION, RESPONSIBILITY FOR SCHEDULING THE WORK FOR INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ALL CODE REQUIREMENTS, RULES & REGULATIONS OF ANY PUBLIC OR PRIVATE AGENCY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK, IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.
 - ALL CONSTRUCTION SHALL MEET CITY OF WILMINGTON, STATE OF NORTH CAROLINA & ALL OTHER APPLICABLE STANDARDS.
 - BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 811. IT'S THE LAW.
 - ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.
 - EXTERIOR EXIT DISCHARGE ILLUMINATION / LIGHTING SHALL BE PERMITTED FROM ALL EXIT DOORS TO THE PUBLIC WAY IN COMPLIANCE WITH NORTH CAROLINA BUILDING CODE (NCBC) 109.
 - ALL MATERIALS USED FOR WATER AND SEWER SERVICES SHALL BE TO CAPE FEAR PUBLIC UTILITY AUTHORITY UTILITY STANDARDS.

- ### CITY OF WILMINGTON NOTES
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND STAGED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR PROTECTING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVERS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
 - CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
 - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
 - ALL PARKING STALL MARKINGS AND LAINE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
 - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
 - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
 - PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASSED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
 - IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
 - ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOHR OR ASSE.
 - CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
 - CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. THE DAMAGES PAYABLE TO THE CITY SHALL BE THE AMOUNT REQUIRED TO MAKE SUCH IMPROVEMENT CONFORM TO CITY STANDARDS.
 - A FEE IN ACCORDANCE WITH THE CITY'S ADOPTED FEE SCHEDULE SHALL BE PAID TO THE CITY AT THE TIME THE APPLICATION FOR A DRIVEWAY PERMIT IS MADE.
 - AS PART OF SITE IMPROVEMENTS FOR A SUBDIVISION OR SITE PLAN, ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING ADJACENT TO THE PROJECT AREA SHALL BE REPLACED BY THE DEVELOPER. THIS SHALL BE REQUIRED WHETHER THE DAMAGE EXISTED PRIOR TO THE START OF CONSTRUCTION OR MAY HAVE BEEN CAUSED DURING CONSTRUCTION.
 - PER THE REQUIREMENTS OF THE STORMWATER PERMIT, THE FOLLOWING SHALL OCCUR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR OPERATION OF THE PERMITTED FACILITY.
 - AS-BUILT DRAWINGS FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEERING DIVISION.
 - AN ENGINEER'S CERTIFICATION SHALL ALSO BE SUBMITTED, ALONG WITH ALL SUPPORTING DOCUMENTATION THAT DEMONSTRATES THAT THE AS-BUILT STORMWATER MEASURES, CONTROLS AND DEVICES ARE IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS.
 - A FINAL INSPECTION BY CITY OF WILMINGTON ENGINEERING PERSONNEL.
 - ALL REQUIRED EASEMENT MAPS SHALL BE RECEIVED BY CITY STAFF AND RECORDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL NEW SERVICES SHALL MEET ALL NO BUILDING CODE REQUIREMENTS.

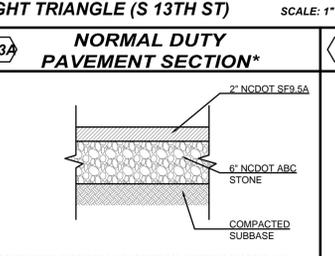
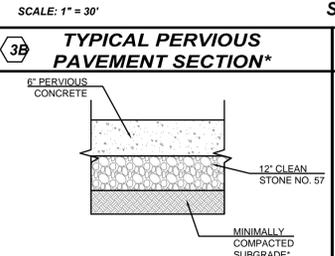
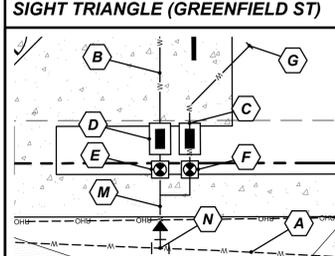
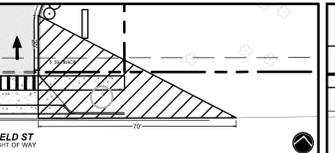
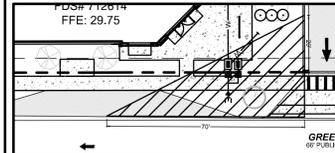
- ### ADDITIONAL CITY OF WILMINGTON NOTES
- A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.
 - IF APPLICABLE, CONTRACTOR TO VERIFY THE LOCATION OF THE CITY OF WILMINGTON TRAFFIC SIGNAL SYSTEM FIBER RUNNING ALONG GREENFIELD ST AND S 13TH ST. CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DETERMINE IF THIS FIBER MUST BE RELOCATED ALONG WITH THE OTHER UTILITIES.
 - IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT (910) 341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY OWNED STREET LIGHT FACILITIES ARE DAMAGED.
 - DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
 - ALL REPAIRS AND REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
 - A PERMIT MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO THE REMOVAL, ALTERATION OR CONSTRUCTION OF ANY CURB, DRIVEWAY, GUTTER AND/OR PAVEMENT OR PRIOR TO THE PERFORMANCE OF ANY OTHER WORK IN ANY PUBLIC OR PRIVATE STREET. CONDITIONS GOVERNING THE ISSUANCE OF SUCH A PERMIT ARE:
 - A CONTINUING INDEMNITY BOND WITH SUFFICIENT SURETY ACCEPTABLE TO THE CITY MAY BE REQUIRED OF THE PARTY PERFORMING THE WORK. ALL WORK MUST BE DONE IN CONFORMITY WITH THE STANDARDS ESTABLISHED HEREIN.
 - THE CITY SHALL BE INDEMNIFIED FOR ANY DAMAGES IT MIGHT SUSTAIN AS A RESULT OF THE BREACH OF CONDITION ABOVE. THE DAMAGES PAYABLE TO THE CITY SHALL BE THE AMOUNT REQUIRED TO MAKE SUCH IMPROVEMENT CONFORM TO CITY STANDARDS.
 - A FEE IN ACCORDANCE WITH THE CITY'S ADOPTED FEE SCHEDULE SHALL BE PAID TO THE CITY AT THE TIME THE APPLICATION FOR A DRIVEWAY PERMIT IS MADE.
 - AS PART OF SITE IMPROVEMENTS FOR A SUBDIVISION OR SITE PLAN, ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING ADJACENT TO THE PROJECT AREA SHALL BE REPLACED BY THE DEVELOPER. THIS SHALL BE REQUIRED WHETHER THE DAMAGE EXISTED PRIOR TO THE START OF CONSTRUCTION OR MAY HAVE BEEN CAUSED DURING CONSTRUCTION.
 - PER THE REQUIREMENTS OF THE STORMWATER PERMIT, THE FOLLOWING SHALL OCCUR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR OPERATION OF THE PERMITTED FACILITY.
 - AS-BUILT DRAWINGS FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEERING DIVISION.
 - AN ENGINEER'S CERTIFICATION SHALL ALSO BE SUBMITTED, ALONG WITH ALL SUPPORTING DOCUMENTATION THAT DEMONSTRATES THAT THE AS-BUILT STORMWATER MEASURES, CONTROLS AND DEVICES ARE IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS.
 - A FINAL INSPECTION BY CITY OF WILMINGTON ENGINEERING PERSONNEL.
 - ALL REQUIRED EASEMENT MAPS SHALL BE RECEIVED BY CITY STAFF AND RECORDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL NEW SERVICES SHALL MEET ALL NO BUILDING CODE REQUIREMENTS.

- ### CITY OF WILMINGTON NOTES
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND STAGED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR PROTECTING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVERS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
 - CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
 - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
 - ALL PARKING STALL MARKINGS AND LAINE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
 - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
 - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
 - PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASSED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
 - IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
 - ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOHR OR ASSE.
 - CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
 - CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. THE DAMAGES PAYABLE TO THE CITY SHALL BE THE AMOUNT REQUIRED TO MAKE SUCH IMPROVEMENT CONFORM TO CITY STANDARDS.
 - A FEE IN ACCORDANCE WITH THE CITY'S ADOPTED FEE SCHEDULE SHALL BE PAID TO THE CITY AT THE TIME THE APPLICATION FOR A DRIVEWAY PERMIT IS MADE.
 - AS PART OF SITE IMPROVEMENTS FOR A SUBDIVISION OR SITE PLAN, ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING ADJACENT TO THE PROJECT AREA SHALL BE REPLACED BY THE DEVELOPER. THIS SHALL BE REQUIRED WHETHER THE DAMAGE EXISTED PRIOR TO THE START OF CONSTRUCTION OR MAY HAVE BEEN CAUSED DURING CONSTRUCTION.
 - PER THE REQUIREMENTS OF THE STORMWATER PERMIT, THE FOLLOWING SHALL OCCUR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR OPERATION OF THE PERMITTED FACILITY.
 - AS-BUILT DRAWINGS FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEERING DIVISION.
 - AN ENGINEER'S CERTIFICATION SHALL ALSO BE SUBMITTED, ALONG WITH ALL SUPPORTING DOCUMENTATION THAT DEMONSTRATES THAT THE AS-BUILT STORMWATER MEASURES, CONTROLS AND DEVICES ARE IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS.
 - A FINAL INSPECTION BY CITY OF WILMINGTON ENGINEERING PERSONNEL.
 - ALL REQUIRED EASEMENT MAPS SHALL BE RECEIVED BY CITY STAFF AND RECORDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL NEW SERVICES SHALL MEET ALL NO BUILDING CODE REQUIREMENTS.



- ### UTILITY NOTES
- EXISTING 8" WATERLINE (NOT FIELD VERIFIED), PROVIDED BY CFPUA.
 - NEW PRIVATE 1" DOMESTIC WATERLINE (SDR 21 PVC). (NOTE: NO PVC ALLOWED WITHIN 5 FT. OF EITHER END OF BACKFLOW PREVENTER. PROVIDE BLOCKING AT BENDS.)
 - NEW PRIVATE 1" IRRIGATION WATERLINE (SDR 21 PVC) WITH 1" METER AND 1" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN ENCLOSURE PER CAPE FEAR PUBLIC UTILITY AUTHORITY REQUIREMENTS.
 - NEW 1" (DOM. WATER) REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN ENCLOSURE PER CAPE FEAR PUBLIC UTILITY AUTHORITY REQUIREMENTS.
 - NEW 1" WATER METER TO BE USED FOR FAMILY DOLLAR DOMESTIC SERVICE.
 - NEW 1" IRRIGATION WATER METER IN BELOW-GRADE BOX.
 - NEW 1" TEMPORARY PLUG FOR IRRIGATION LINE.
 - NEW SANITARY SEWER CLEANOUT.
 - NEW 8" PRIVATE DUCTILE IRON GRAVITY SANITARY SEWER SERVICE.
 - TIE INTO EXISTING SANITARY SEWER MANHOLE, AS SHOWN. CONTRACTOR TO VERIFY DEPTH OF EXISTING MANHOLE PRIOR TO CONSTRUCTING NEW SEWER MAIN.
 - EXISTING 8" PVC SANITARY SEWER (NOT FIELD VERIFIED), PROVIDED BY CFPUA.
 - NEW 8" PUBLIC DUCTILE IRON GRAVITY SANITARY SEWER SERVICE (NOTE: ALL SERVICE WITHIN ROW IS PUBLIC).
 - NEW 1" PRIVATE DOMESTIC WATER SERVICE LINE (CTS - PE TUBING, SDR 9 ASTM D2737).
 - NEW 8" x 2" TAPPING SLEEVE AND VALVE PER CAPE FEAR PUBLIC UTILITY AUTHORITY REQUIREMENTS. REDUCES TO 1" LINE.

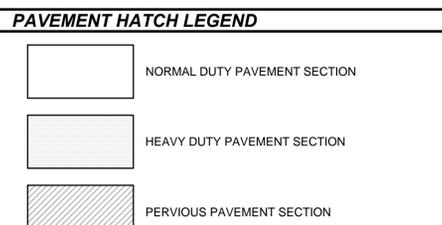
- ### UTILITY NOTES
- CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES & GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.
 - DIMENSIONS TO, OR COORDINATES OF MANHOLES, VALVES, PIPELINES, ETC., ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 - THE OWNER SHALL OBTAIN & PAY FOR, PRIOR TO THE BEGINNING OF ANY WORK, ALL PERMITS & LICENSES NECESSARY TO ACCOMPLISH WORK. PERMITS CAN INCLUDE, BUT ARE NOT LIMITED TO, CITY OF WILMINGTON ENCROACHMENT PERMIT, GRADING PERMIT, &/OR UTILITY COMPANY'S PERMIT FOR THE WORK TO BE PERFORMED ON THEIR RESPECTIVE FACILITIES.
 - ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE JOB SITE & LOCATION OF ALL EXISTING FACILITIES & UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE UNILATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES OR UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS & IF DAMAGED, THEY SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL RE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES & ANY OTHER UTILITY ACCESS COVERS TO FINISHED PAVEMENT SURFACE OR SIDEWALK GRADE.
 - CONTRACTOR SHALL PROTECT UNDERGROUND UTILITIES & THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
 - SEWER CLEANOUTS TO BE PROVIDED AT ALL BENDS ON 8" OR LESS LINES. CLEAN OUTS SHALL BE PROVIDED EVERY 80' ON 4" LINES & 60' LINES. SEWER LATERALS TO BE PLACED AT A MIN. SLOPE OF 1/4" PER FOOT ON 4" LINES & 1/8" PER FOOT ON 6" LINES.
 - WHEN WATER MAIN IS ABOVE SEWER, BUT WITH LESS THAN 18" CLEARANCE, OR WHEN THE SEWER IS ABOVE THE WATER MAIN, BOTH WATER MAIN & SEWER LINE SHALL BE CONSTRUCTED OF FERROUS MATERIALS WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MINIMUM LATERAL DISTANCE, MEASURED AT RIGHT ANGLES TO THE SEWER, OF 10' ON EACH SIDE OF THE CROSSING WITH FULL SIGHT CENTERED AT THE POINT OF CROSSING.
 - UPON COMPLETION OF CONSTRUCTION & BEFORE ACTIVATION OF SEWER LINES & WATER MAINS, THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY INFORMATION (PERFORMED BY LICENSED N.C. SURVEYOR) TO THE ENGINEER.
 - THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER & ITS CAPE FEAR PUBLIC UTILITY AUTHORITY-REQUIRED BACKFLOW PREVENTER.
 - CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED & SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
 - ALL CONSTRUCTION SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY AND NCDENR STANDARDS.
 - CONTRACTOR RESPONSIBLE FOR TERMINATING EXISTING AND UNUSED WATER AND SEWER SERVICES. TERMINATION TO BE TO NCDENR AND CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARDS.
 - ALL ON-SITE PRIVATE WATER AND SEWER LINES TO BE MAINTAINED BY OWNER.
 - ALL STANDARD NCDENR/CAPE FEAR PUBLIC UTILITY AUTHORITY UTILITY SEPARATIONS MUST BE PROVIDED FOR WATER AND SEWER MAINS.
 - ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE.



* - ON-SITE GEOTECHNICAL ENGINEER TO OFFER PROVIDE GUIDANCE ON SUBGRADE COMPACTION DURING CONSTRUCTION

* - CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.
** - PLACED IN TWO LIFTS

* - CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.

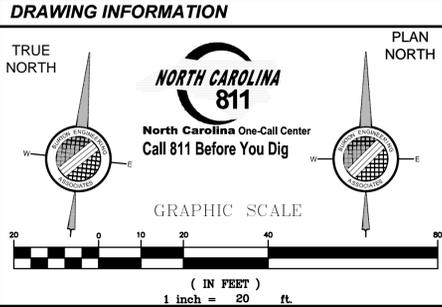


SITE INFORMATION

LOCATION: 1313 GREENFIELD STREET, WILMINGTON, NC 28415
 ZONING: UMX JURISDICTION: CITY OF WILMINGTON
 TAX PARCEL: R05414-021-002-000 & R5414-021-003-000
 CAMA LAND USE CLASSIFICATION: DEVELOPED
 FEMA PANEL No: 37203127001 FEMA PANEL DATE: 04/03/06 100yr FLOOD ZONE: OUI
 PROPOSED USE: RETAIL SALES LESS THAN OR EQUAL TO 10,000 SQUARE FEET

SETBACKS:	FRONT	SIDE	REAR
REDD(MIN)	5'	5'	5'
PROVIDED	10.1'	6.9'	95.6' 149.2'

WATER LINE: CFPUA SERVICE: 1" LINE USAGE: 200 GPD
 WASTEWATER LINE: CFPUA SERVICE: 4" LINE USAGE: 200 GPD
 ELECTRIC SERVICE: DUKE SERVICE: OVERHEAD



THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
 BUILDING VALUES

BURTON ENGINEERING ASSOCIATES
 CIVIL ENGINEERS
 LAND PLANNERS

5950 Fairview Rd., Suite 100, Charlotte, NC 28210
 (704) 553-8881 Fax (704) 553-8660
 Firm License # 157

Seal: **Professional Engineer**
 State of North Carolina
 License No. 12557
 Date: 4/7/2015

GREENFIELD - FDS
 1313 GREENFIELD STREET
 WILMINGTON, NORTH CAROLINA

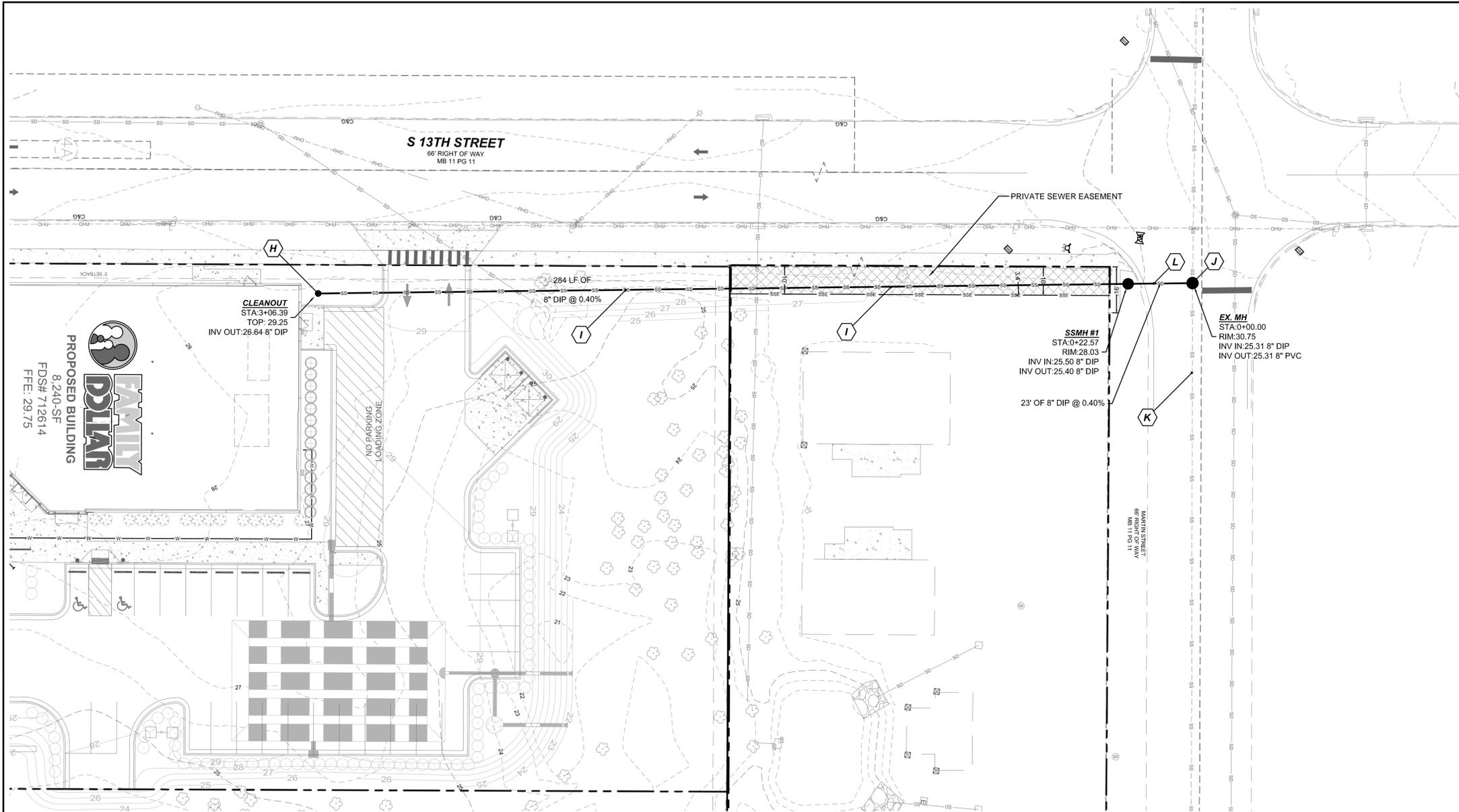
SITE PLAN

Project: **CTB**
 Engineer: **LJB**
 Drawn By: **9/21/15**
 Date: **9/21/15**

Revisions:
 1. 11/10/15 PER TRC & CFPUA COMMENTS

Project Number: **487-064**

C4.0
 Sheet 5 of 21



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fee _____

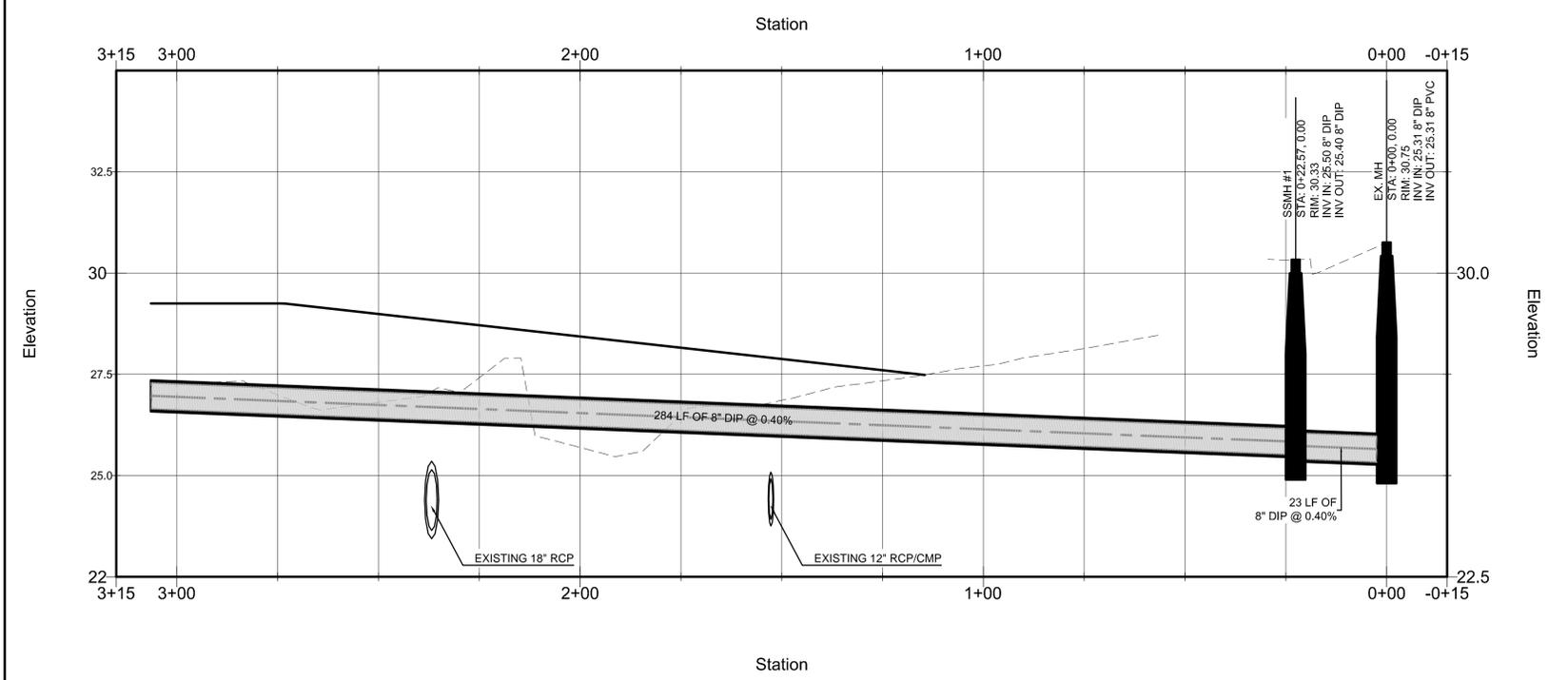
LEGEND

EXISTING WATERLINE	---
EXISTING SEWER LINE	---
EXISTING SEWER MANHOLE	⊙
PROPOSED WATERLINE	---
PROPOSED WATER METER	⊕
PROPOSED BACKFLOW PREVENTER	⊠
PROPOSED SEWER LINE	---
PROPOSED SEWER CLEANOUT	•

- UTILITY KEYS**
- (A) EXISTING 8" WATERLINE (NOT FIELD VERIFIED), PROVIDED BY CFPUA.
 - (B) NEW PRIVATE 1" DOMESTIC WATERLINE (SDR 21 PVC), (NOTE: NO PVC ALLOWED WITHIN 5 FT. OF EITHER END OF BACKFLOW PREVENTER. PROVIDE BLOCKING AT BENDS).
 - (C) NEW PRIVATE 1" IRRIGATION WATERLINE (SDR 21 PVC) WITH 1" METER AND 1" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN ENCLOSURE PER CAPE FEAR PUBLIC UTILITY AUTHORITY REQUIREMENTS.
 - (D) NEW 1" (DOM. WATER) REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN ENCLOSURE PER CAPE FEAR PUBLIC UTILITY AUTHORITY REQUIREMENTS.
 - (E) NEW 1" WATER METER TO BE USED FOR FAMILY DOLLAR DOMESTIC SERVICE.
 - (F) NEW 1" IRRIGATION WATER METER IN BELOW-GRADE BOX.
 - (G) NEW 1" TEMPORARY PLUG FOR IRRIGATION LINE.
 - (H) NEW SANITARY SEWER CLEANOUT.
 - (I) NEW 8" PRIVATE DUCTILE IRON GRAVITY SANITARY SEWER SERVICE.
 - (J) TIE INTO EXISTING SANITARY SEWER MANHOLE, AS SHOWN. CONTRACTOR TO VERIFY DEPTH OF EXISTING MANHOLE PRIOR TO CONSTRUCTING NEW SEWER MAIN.
 - (K) EXISTING 8" PVC SANITARY SEWER (NOT FIELD VERIFIED), PROVIDED BY CFPUA.
 - (L) NEW 8" PUBLIC DUCTILE IRON GRAVITY SANITARY SEWER SERVICE (NOTE: ALL SERVICE WITHIN ROW IS PUBLIC).
 - (M) NEW 1" PRIVATE DOMESTIC WATER SERVICE LINE (CTS - PE TUBING, SDR 9 ASTM D2737).
 - (N) NEW 8" x 2" TAPPING SLEEVE AND VALVE PER CAPE FEAR PUBLIC UTILITY AUTHORITY REQUIREMENTS. REDUCES TO 1" LINE.
- ALL MATERIALS USED FOR WATER AND SEWER SERVICES SHALL BE TO CAPE FEAR PUBLIC UTILITY AUTHORITY UTILITY STANDARDS.

UTILITY NOTES

- CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES & GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.
- DIMENSIONS TO, OR COORDINATES OF MANHOLES, VALVES, PIPELINES, ETC., ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- THE OWNER SHALL OBTAIN & PAY FOR, PRIOR TO THE BEGINNING OF ANY WORK, ALL PERMITS & LICENSES NECESSARY TO ACCOMPLISH WORK. PERMITS CAN INCLUDE, BUT ARE NOT LIMITED TO CITY OF WILMINGTON ENCROACHMENT PERMIT, GRADING PERMIT, &/OR UTILITY COMPANY'S PERMIT FOR THE WORK TO BE PERFORMED ON THEIR RESPECTIVE FACILITIES.
- ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE JOB SITE & LOCATION OF ALL EXISTING FACILITIES & UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE UNILATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES OR UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS; & IF DAMAGED, THEY SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES & ANY OTHER UTILITY ACCESS COVERS TO FINISHED PAVEMENT SURFACE OR SIDEWALK GRADE.
- THE CONTRACTOR SHALL PROTECT UNDERGROUND UTILITIES & THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- SEWER CLEAN-OUTS TO BE PROVIDED AT ALL BENDS ON 6" Ø OR LESS LINES. CLEAN OUTS SHALL BE PROVIDED EVERY 80' ON 4"Ø LINES & 6"Ø LINES. SEWER LATERALS TO BE PLACED AT A MIN. SLOPE OF 1/4" PER FOOT ON 4"Ø LINES & 1/8" PER FOOT ON 6"Ø LINES.
- WHEN WATER MAIN IS ABOVE SEWER, BUT WITH LESS THAN 18" CLEARANCE, OR WHEN THE SEWER IS ABOVE THE WATER MAIN, BOTH WATER MAIN & SEWER LINE SHALL BE CONSTRUCTED OF FERROUS MATERIALS WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MINIMUM LATERAL DISTANCE, MEASURED AT RIGHT ANGLES TO THE SEWER, OF 10' ON EACH SIDE OF THE CROSSING WITH FULL SECTIONS CENTERED AT THE POINT OF CROSSING.
- UPON COMPLETION OF CONSTRUCTION & BEFORE ACTIVATION OF SEWER LINES & WATER MAINS, THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY INFORMATION (PERFORMED BY LICENSED N.C. SURVEYOR) TO THE ENGINEER.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER & ITS CAPE FEAR PUBLIC UTILITY AUTHORITY-REQUIRED BACKFLOW PREVENTER.
- CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED, & SHALL BE INCLUDED IN THE CONTRACTORS BID.
- ALL CONSTRUCTION SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY AND NCDENR STANDARDS.
- CONTRACTOR RESPONSIBLE FOR TERMINATING EXISTING AND UNUSED WATER AND SEWER SERVICES. TERMINATION TO BE TO NCDENR AND CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARDS.
- ALL ON-SITE PRIVATE WATER AND SEWER LINES TO BE MAINTAINED BY OWNER
- ALL STANDARD NCDENR/CAPE FEAR PUBLIC UTILITY AUTHORITY UTILITY SEPARATIONS MUST BE PROVIDED FOR WATER AND SEWER MAINS.
- ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE.



CFPUA STANDARD SEWER NOTES

1. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
2. SERVICES SHALL BE PERPENDICULAR TO THE MAIN AND TERMINATE AT THE RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
3. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 DIP WITH PROTECTO 401 CERAMIC EPOXY LINING.
4. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
5. NO FLEXIBLE COUPLINGS SHALL BE USED.
6. ALL STAINLESS STEEL FASTENERS SHALL BE 316.

CFPUA GENERAL NOTES

1. NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
3. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WHILE CONSTRUCTION IS IN PROGRESS.
4. THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS.
5. THE CONTRACTOR IS RESPONSIBLE FOR LAY DOWN AND STOCKPILE AREAS (TO ARRANGE AND ENSURE COMPLIANCE WITH ALL LOCAL CODES AND STATE REGULATIONS).

DRAWING INFORMATION

TRUE NORTH

PLAN NORTH

NORTH CAROLINA 811
North Carolina One-Call Center
Call 811 Before You Dig

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(P) 704.319.8347

BURTON ENGINEERING ASSOCIATES
CIVIL ENGINEERS
LAND PLANNERS
5950 Fairview Rd., Suite 100, Charlotte, NC 28210
(704) 553-8881, Fax (704) 553-8660
Firm License #1557



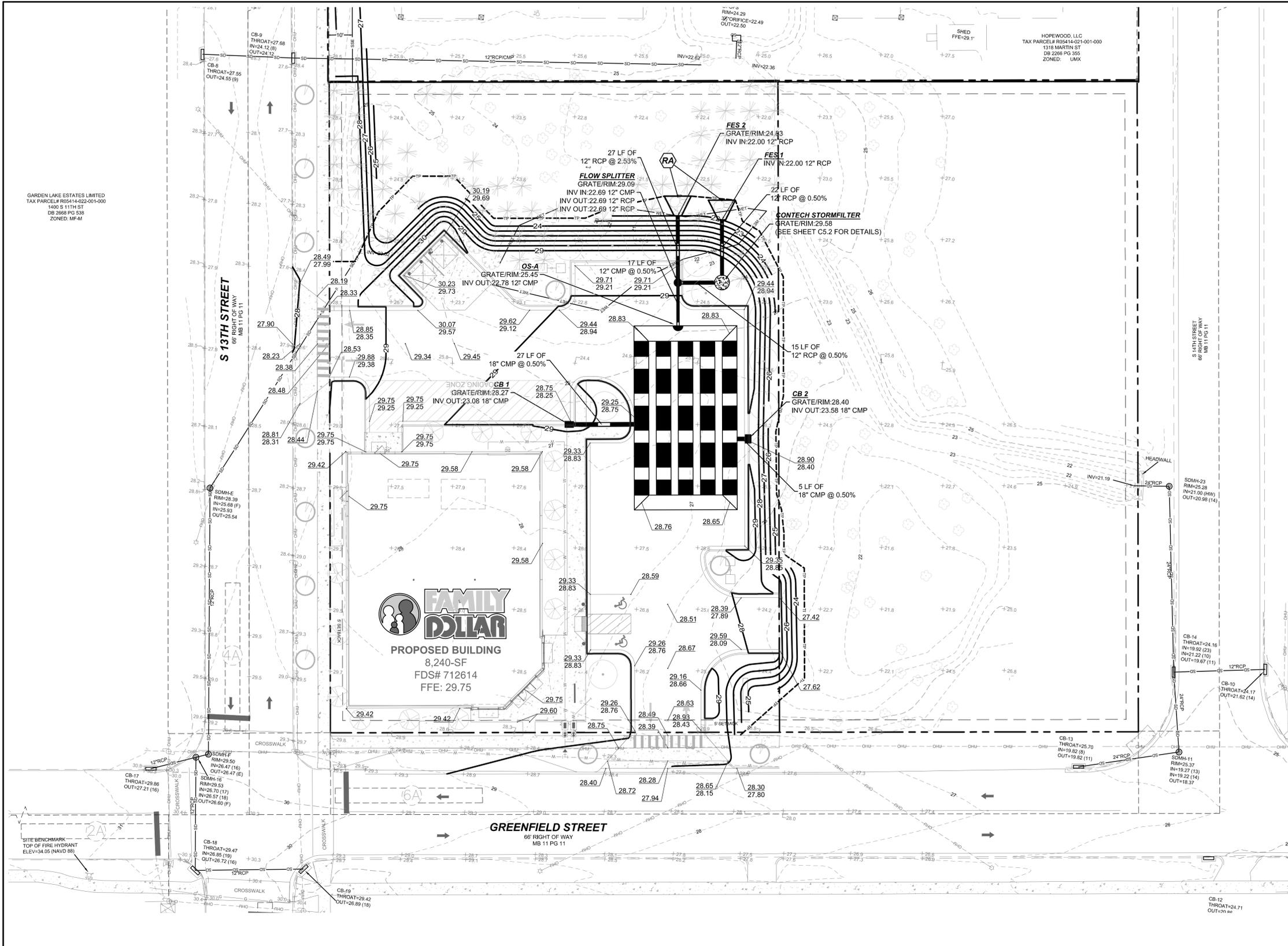
GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA
SEWER EXTENSION PLAN

Project: **CTB**
Engineer: **LJB**
Drawn By: **9/21/15**
Date: _____

Revisions: _____

Project Number: **487-064**

C4.1
Sheet 6 of 21



GARDEN LAKE ESTATES LIMITED
TAX PARCEL# R05414-022-001-000
1400 S 11TH ST
DB 2668 PG 538
ZONED: MF-M

HOPEWOOD, LLC
TAX PARCEL# R05414-021-001-000
1516 MARTIN ST
DB 2266 PG 355
ZONED: UNK

NOTE:
CONTRACTOR TO SAVE SUFFICIENT TOPSOIL ON SITE TO BE RE-Spread AFTER GRADING IS COMPLETE. HAUL OFF ANY EXCESS TOP SOIL.

LEGEND

EXIST. CONTOUR		+302
EXIST. SPOT ELEV.		+813.8
PROP. CONTOUR		302
PROP. SPOT ELEV. (AT CURB; TOC/BOC)		137.55
PROP. SPOT ELEV. (NO CURB)		137.05
PROP. SPOT ELEV. (TOP OF CURB)		137.55
PROP. JUNCTION BOX		
PROP. CATCH BASIN		
PROP. FES		
PROP. LIMITS OF CONSTRUCTION		
PROP. TREE PROTECTION FENCING		
	PROP. CLASS B RIPRAP APRON (8'x11')	

- GENERAL GRADING NOTES**
- LAND DEVELOPMENT/EROSION CONTROL INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
 - PE SEALED SHOP DRAWINGS FOR RETAINING WALL(S) MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
 - APPROVAL OF THIS SITE PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - NON-STANDARD ITEMS (i.e.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CITY OF WILMINGTON BEFORE INSTALLATION.
 - LANDINGS OUTSIDE ALL DOORS SHALL BE SIZED PER THE NORTH CAROLINA BUILDING CODE (NCBC), BE AT THE SAME ELEVATION AS THE FINISHED FLOOR ELEVATION AND HAVE A MAXIMUM 2% SLOPE IN ANY DIRECTION INCLUDING DIAGONAL.
 - THE SLOPES IN THE HANDICAP PARKING SPACES / ACCESS AISLE AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION INCLUDING IN THE DIAGONAL.
 - THERE SHALL BE LEVEL TURNING AREAS (MAX. 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL) ON ALL SIDEWALKS WHERE AN INTERSECTING SIDEWALK CONNECTS WITH IT.
 - THERE SHALL BE NO DESIGNATED PEDESTRIAN ROUTES / SIDEWALKS WITHIN THE SITE, EXCEPT WHERE LABELED AS A RAMP WITH RAILS, WHICH EXCEED A 5% SLOPE IN THE DIRECTION OF TRAVEL AND A 2% CROSS-SLOPE.

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
ENGINEERS
LAND PLANNERS
5950 Fairview Rd., Suite 100, Charlotte, NC 28210
(704) 553-8811 Fax (704) 553-8660
Firm License # 1557



WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA
GRADING AND DRAINAGE PLAN

Project
Engineer
LJB
Drawn By
9/21/15
Date

Revisions
1-11/10/15 PER TRC & CP/PA COMMENTS

STORM DRAINAGE CHART

PROJECT: GREENFIELD - FDS
LOCATION: 1313 GREENFIELD STREET, WILMINGTON, NC
STORM FREQUENCY (ON-SITE): 10 YR. - C=SEE CHART i=9.72 (10 yr.) PER NOAA
** ALL PIPE SHALL BE CL III RCP UNLESS NOTED OTHERWISE.

LINE	DRAINAGE AREA (ACRES)	TIME (MIN)	Q(CFS)		PIPE DATA		INVERT ELEVATIONS		VELOC.	INLET/RIM ELEVATION	REMARKS		
			FROM	TO	PERCENT SLOPE	LENGTH IN FEET	UPSTREAM	DOWNSTREAM				FPS	FT.
CB 1	UGD	---	0.33	0.33	0.012	0.50	19	18	23.08	22.95	4.17	CB 1 = 28.27	CMP
CB 2	UGD	---	0.32	0.32	0.012	0.50	5	18	23.58	23.56	4.14	CB 2 = 28.40	CMP
SEE SHEET C5.1 AND C5.2 FOR UNDERGROUND DETENTION PIPE DETAILS													
OS-A	FS	---	---	---	0.012	0.50	17	12	22.78	22.69	---	OS-A = 25.45	CMP
FS	SF	---	---	---	0.012	0.50	15	12	22.69	SEE C5.2	---	FS = 29.09	RCP
SF	FES 1	---	---	---	0.012	0.50	22	12	SEE C5.2	22.00	---	SF = 29.58	RCP
FS	FES 2	---	---	---	0.012	2.53	27	12	22.69	22.00	---	FS = 29.09	RCP

DRAWING INFORMATION

TRUE NORTH
PLAN NORTH

NORTH CAROLINA 811
North Carolina One-Call Center
Call 811 Before You Dig

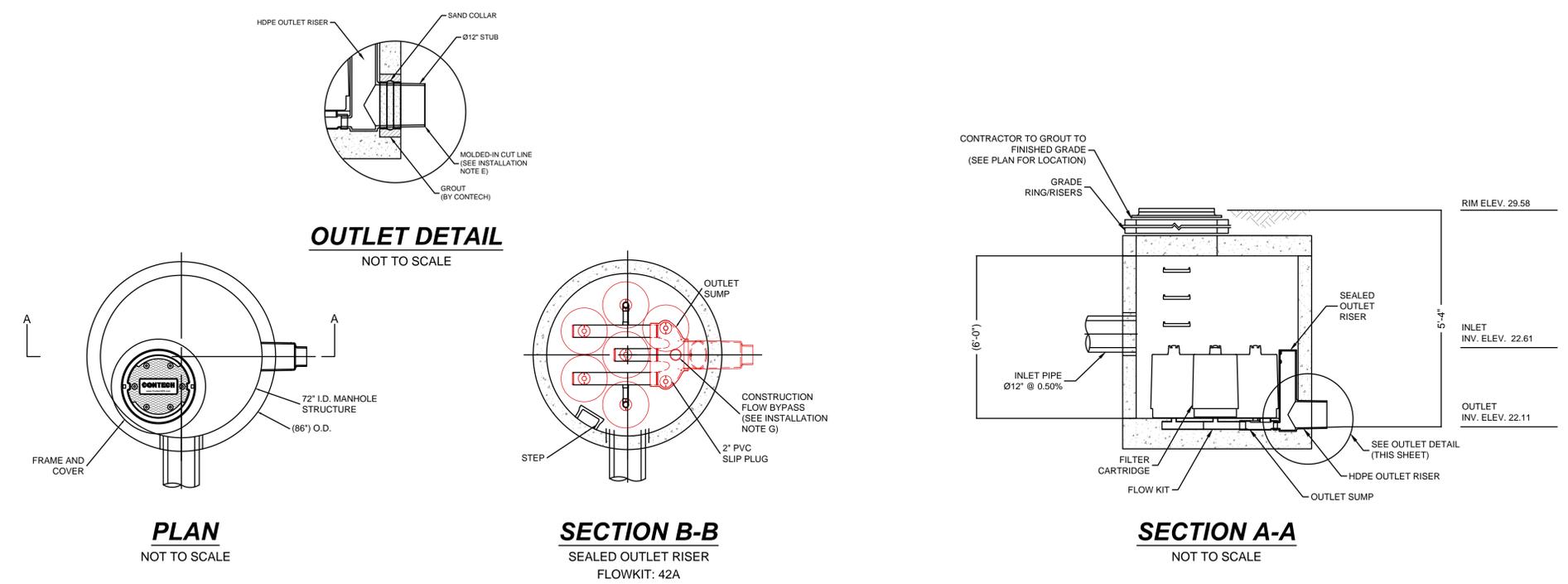
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

Project Number
487-064
C5.0
Sheet 7 of 21

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
ENGINEERS
LAND PLANNERS
5950 Fairview Rd., Suite 100, Charlotte, NC 28210
(704) 553-8811 Fax (704) 553-8660
Firm License #157



CONTECH STORMFILTER MANHOLE
NOT TO SCALE

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____

PERFORMANCE SPECIFICATION
FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7-INCHES.** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
SPECIFIC FLOW RATE SHALL BE 1 GPM/SF (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF OF MEDIA (MAXIMUM).

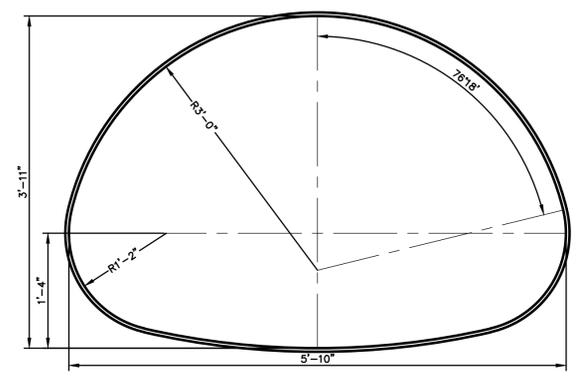
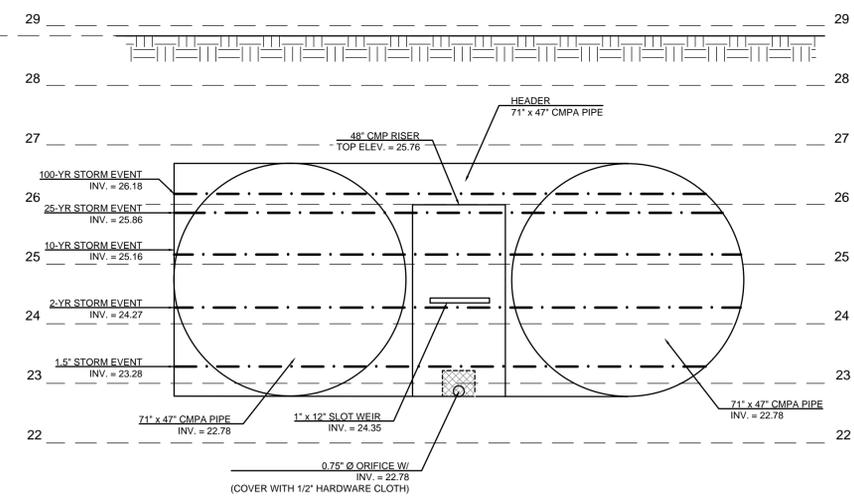
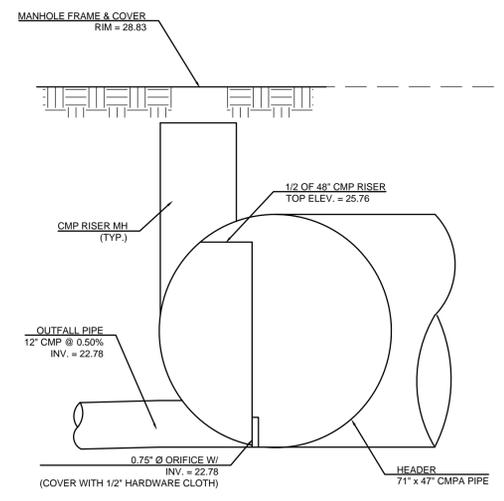
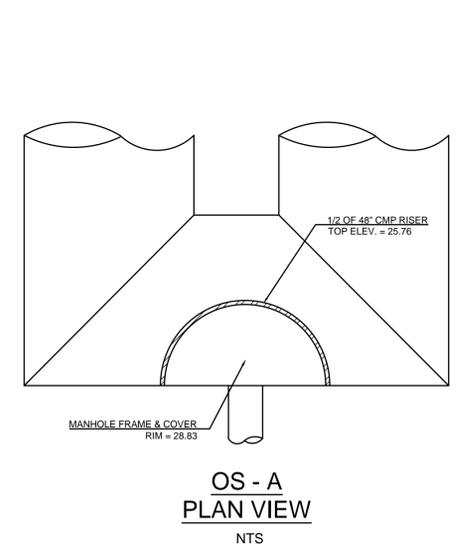
GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.contech.com
4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
5. STRUCTURE SHALL MEET AASHTO H201 LOAD RATING, ASSUMING EARTH COVER OF 0' 5\"/>

MATERIAL LIST - PROVIDED BY CONTECH

COUNT	DESCRIPTION	INSTALLED BY
7	LOW DROP, 22.5 GPM, PERLITE CARTRIDGE (PRP)	PRECASTER
0	2" PVC SLIP PLUG	PRECASTER
1	SEALED OUTLET RISER	PRECASTER
1	FLOW KIT	PRECASTER
1	JOINT SEALANT (BY PRECASTER)	CONTRACTOR
1 PLC	GRADE RINGS/RISERS	CONTRACTOR
1	Ø30" x 4" FRAME AND COVER	CONTRACTOR

SITE DESIGN DATA

WATER QUALITY FLOW RATE	0.12 CFS
PEAK FLOW RATE	NA CFS
RETURN PERIOD OF PEAK FLOW	NA YRS
FILTER MEDIA TYPE	PERLITE



CMP ARCH PIPE DETAILS & NOTES

PIPE SIZE: 71" x 47" CMPA
WALL TYPE: PERFORATED
EQUIVALENT SIZE: 60" Ø
TOTAL LENGTH: 430 LF
TOTAL VOLUME: 10,152 CF
LOADING: H20/H25
FINISH: ALT2
MAINLINE PIPE GAUGE: 16

- ALL RISER AND STUB DIMENSIONS ARE TO BE CENTERLINE.
- ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2-2/3" x 1/2" CORRUGATION AND 16 GAUGE UNLESS OTHERWISE NOTED.
- RISERS ARE TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES.

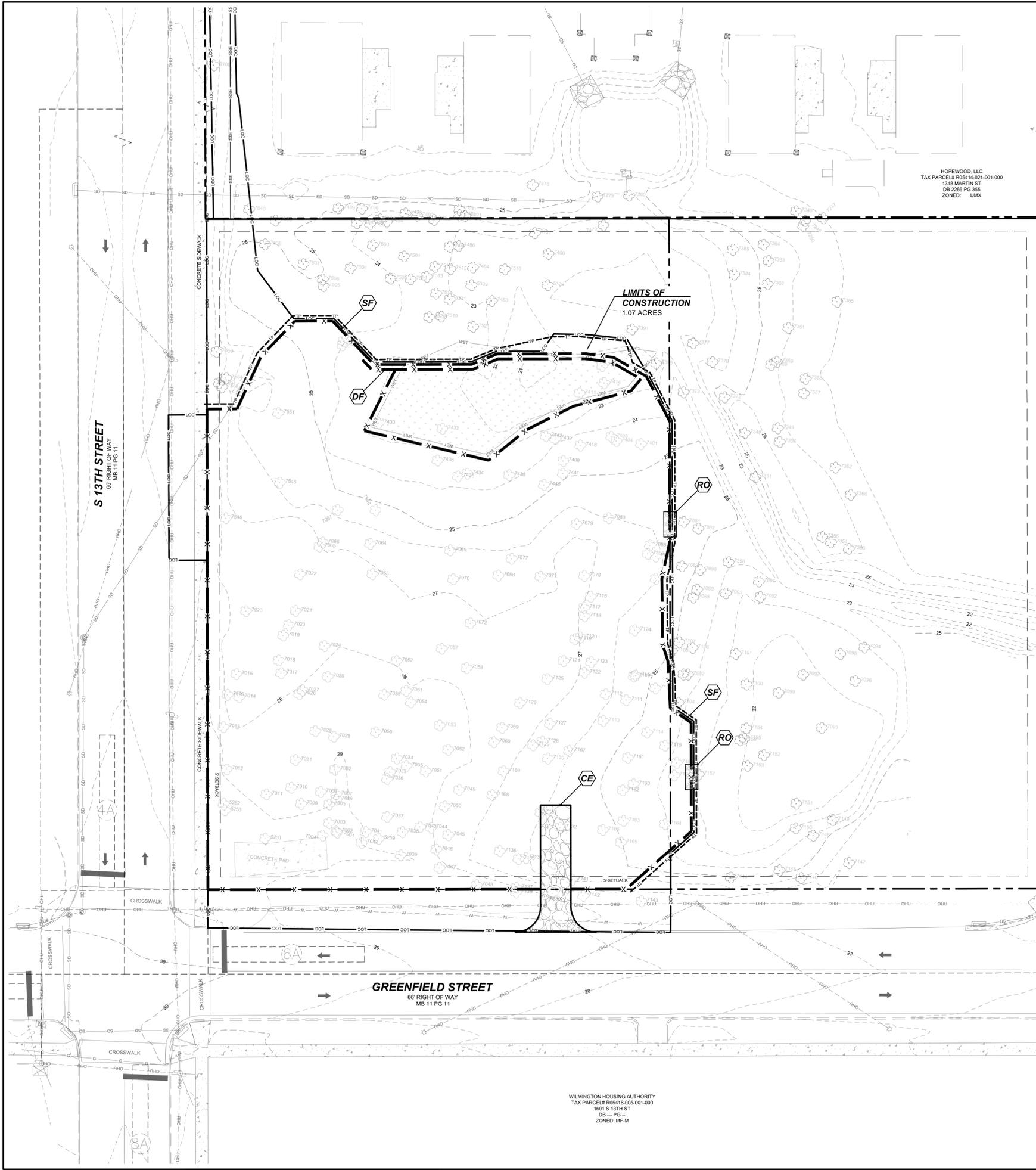
GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA
STORMWATER MANAGEMENT PLAN

Project: CTB
Engineer: LJB
Drawn By: 9/21/15
Date: _____

Revisions
1-11/10/15 PER TRC & CP/PA COMMENTS

Project Number: 487-064

C5.2
Sheet 9 of 21



HOPEWOOD, LLC
 TAX PARCEL# R05414-021-001-000
 1318 MARTIN ST
 DB 2266 PG 355
 ZONED: UMX

WILMINGTON HOUSING AUTHORITY
 TAX PARCEL# R05418-005-001-000
 1601 S 13TH ST
 DB - PG -
 ZONED: MF-M

PERMANENT SEEDING SPEC'S.

3:1 SLOPES OR FLATTER
 APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 SEED AT A RATE OF 6 LBS/1000 S.F.

DATE	TYPE
NOV. 1 TO MAY 1	ANNUAL RYE GRAIN AND TURF TYPE TALL FESCUE
MAY 1 TO AUG. 15	TURF TYPE TALL FESCUE
AUG. 15 TO NOV. 1	TURF TYPE TALL FESCUE

MULCH WITH UNCHOPPED, UNWEATHERED SMALL GRAIN STRAW FREE OF SEEDS APPLIED AT THE RATE OF 1 - 2 TONS/ACRE - HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
 THE CONTRACTOR SHALL MAINTAIN THE PERMANENT VEGETATIVE COVER BY MOWING, IRRIGATION, REPAIR OR PLANTING FAILURES OR OTHER METHODS FOR THE DURATION OF THE PROJECT & UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.
 THE PLAN SHOULD INCLUDE PROVISIONS FOR PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER), FOLLOWING COMPLETION OF CONSTRUCTION AND DEVELOPMENT.

MAINTENANCE:
 INSPECT SEEDING AFTER HEAVY RAINS AND REPAIR SEED AND MULCH BARE AREAS UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECT SEEDED AREAS PERIODICALLY UNTIL VEGETATION HAS PERMANENTLY STABILIZED. REPAIR DAMAGED OR FAILURE AREAS ACCORDINGLY.

TEMP. EROSION CONTROL SEEDING

3:1 SLOPES OR FLATTER
 APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE & APPLICATION RATES.

DATE	TYPE	PLANTING RATE
NOV. 1 TO MAY 1	ANNUAL RYE GRAIN AND TURF TYPE TALL FESCUE	150 LBS/ACRE
MAY 1 TO AUG. 15	GERMAN MILLET AND TURF TYPE TALL FESCUE	60 LBS/ACRE
AUG. 15 TO NOV. 1	TURF TYPE TALL FESCUE	250 LBS/ACRE

MULCH WITH STRAW APPLIED AT THE RATE OF 145-100 LBS/1000 S.F. - HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
 IF GERMAN MILLET IS USED FOR TEMPORARY COVER DURING SUMMER MONTHS, CONTRACTOR MUST KEEP TEMPORARY MILLET MOVED AND CONTRACTOR MUST OVERSEED WITH THE SPECIFIED RATE OF TURF TYPE TALL FESCUE AFTER THE HEAT OF SUMMER IS PAST BUT NOT BEFORE SEPT. 15 NOR LATER THAN NOV. 1.
MAINTENANCE:
 RESEED AND MULCH AREAS WHERE SEEDLING EMERGENCE IS POOR, OR WHERE EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.

CONSTRUCTION SEQUENCE

- PHASE 1**
- OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM NCDENR.
 - SET UP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE THE NCDENR EROSION CONTROL INSPECTOR.
 - INSTALL CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCING, INLET PROTECTION AND OTHER MEASURES SHOWN ON THE PHASE 1 EROSION CONTROL PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
 - BEGIN DEMOLITION AND REMOVAL OF EXISTING FEATURES ACCORDING TO DEMOLITION PLAN (SHEET C3.0).
 - AFTER ALL PHASE 1 EROSION CONTROL MEASURES HAVE BEEN INSTALLED, CLEARING AND GRADING WITHIN THE PERMITTED CONSTRUCTION LIMITS MAY BEGIN AS SHOWN IN THE PHASE 2 EROSION CONTROL PLAN (SHEET C6.1).
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

STABILIZATION NOTE:

- ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

NOTE:
 CONTRACTOR TO SAVE SUFFICIENT TOPSOIL ON SITE TO BE RE-SPREAD AFTER GRADING IS COMPLETE. HAUL OFF ANY EXCESS TOP SOIL.

LEGEND

EXIST. CONTOUR
 EXIST. SPOT ELEV.
 PROP. CONTOUR
 PROP. JUNCTION BOX
 PROP. CATCH BASIN
 PROP. FES
 PROP. DIVERSION DITCH
 PROP. SILT FENCE (DETAIL C8.6)
 PROP. INLET PROTECTION (DETAIL C8.6)
 PROP. LIMITS OF CONSTRUCTION
 PROP. RIP RAP APRON - SEE CHART FOR SIZING (DETAIL C8.6)
 PROP. TREE PROTECTION FENCING

Approved Construction Plan

Name	Date
Planning	
Traffic	
File	

EROSION CONTROL KEYS

- CE STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL ON SHEET C8.6.
- SF TEMPORARY SILT FENCING. SEE DETAIL ON SHEET C8.6.
- DF TEMPORARY DOUBLE ROW OF SILT FENCING. SEE DETAIL ON SHEET C8.6.
- IP TEMPORARY BLOCK AND GRAVEL INLET PROTECTION. SEE DETAIL ON SHEET C8.6.
- RO TEMPORARY ROCK OUTLET IN SILT FENCE. SEE DETAIL ON SHEET C8.6.

NEW STABILIZATION TIMEFRAMES
(Effective Aug. 3, 2011)

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

EROSION CONTROL MAINTENANCE NOTES

- ALL EROSION SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF GREATER THAN 1/2" RAIN IN A 24 HOUR PERIOD. A RAIN GAUGE SHALL BE MAINTAINED ON THE SITE AND A RECORD OF THE RAINFALL AMOUNTS AND DATES SHALL BE KEPT.
- A RECORD OF INSPECTIONS BY THE CONTRACTOR SHALL BE KEPT AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST. VISIBLE SEDIMENTATION FOUND OUTSIDE THE DENUDED AREA LIMITS SHALL BE RECORDED AND A BRIEF EXPLANATION KEPT WITH THE RECORDS AS TO THE MEASURES TAKEN TO CONTROL FUTURE RELEASES. ANY MEASURES TAKEN TO CLEAN UP THE SEDIMENT THAT HAS LEFT THE DENUDED AREA LIMITS SHALL ALSO BE RECORDED.

SEEDBED PREPARATION

- AREAS TO BE SEEDED SHALL BE RIPPED OR TILLED AND SPREAD WITH AVAILABLE TOPSOIL 4" DEEP. TOTAL SEEDBED PREPARED DEPTH SHALL BE 6".
- ROCKS, ROOTS & OTHER OBSTRUCTIONS & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE SEEDBED SURFACE OF COMPLETED PREPARED SEEDBED SHALL BE LOOSE SMOOTH & UNIFORM. CONTRACTOR SHALL TILL, DISC AND/OR HARROW IF NECESSARY TO ACHIEVE THIS.
- IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME SHALL BE APPLIED ACCORDING TO THE SEEDING SPECIFICATIONS.
- IF SOIL TEST IS TAKEN, APPLY FERTILIZER AND LIME IN ACCORDANCE W/SOIL TEST RECOMMENDATIONS.
- LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.
- IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH A THIN DENSE LAYER OF CLEAN WHEAT STRAW.

DRAWING INFORMATION

TRUE NORTH
 PLAN NORTH

NORTH CAROLINA 811
 North Carolina One-Call Center
 Call 811 Before You Dig

GRAPHIC SCALE
 0 10 20 40 80
 (IN FEET)
 1 inch = 20 ft.

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
 BUILDING VALUES
 106 FOSTER AVENUE
 CHARLOTTE, NC 28203
 (P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
 ENGINEERS
 LAND PLANNERS

5950 Fairview Rd., Suite 100, Charlotte, NC 28210
 (704) 553-8881 - Fax (704) 553-8660
 Firm License # 1557



GREENFIELD - FDS
 1313 GREENFIELD STREET
 WILMINGTON, NORTH CAROLINA

Project
 Title
PHASE 1 - EROSION CONTROL PLAN

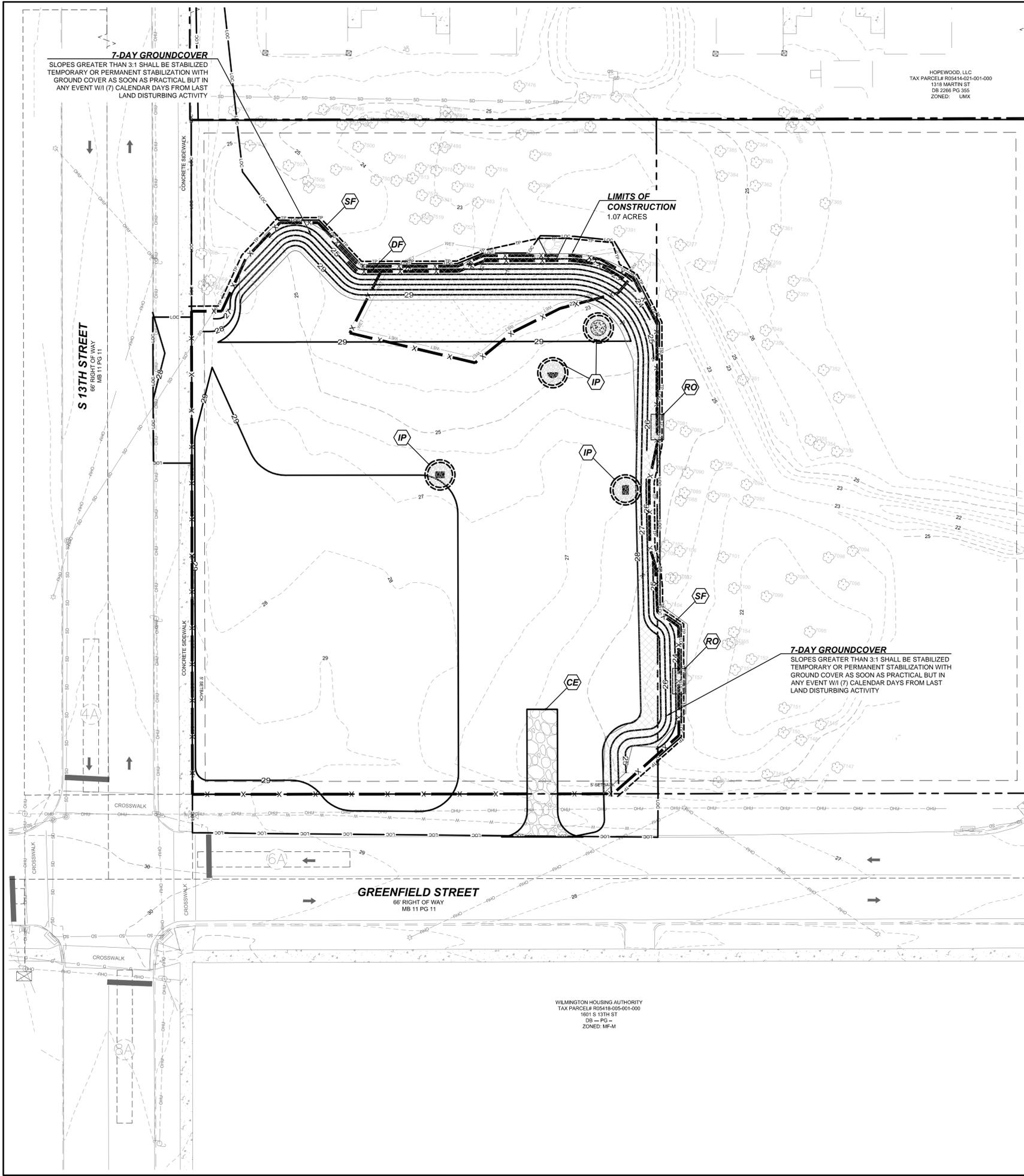
Project Engineer
LJB
 Drawn By
9/21/15
 Date

Revisions

1:11/10/15 PER TRC & CP/UA COMMENTS

Project Number
487-064

C6.0
 Sheet 10 of 21



PERMANENT SEEDING SPEC'S.

3:1 SLOPES OR FLATTER
 APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 SEED AT A RATE OF 6 LBS/1000 S.F.

DATE	TYPE
NOV. 1 TO MAY 1	ANNUAL RYE GRAIN AND TURF TYPE TALL FESCUE
MAY 1 TO AUG. 15	TURF TYPE TALL FESCUE
AUG. 15 TO NOV. 1	TURF TYPE TALL FESCUE

MULCH WITH UNCHOPPED, UNWEATHERED SMALL GRAIN STRAW FREE OF SEEDS APPLIED AT THE RATE OF 1 - 2 TONS/ACRE - HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
 THE CONTRACTOR SHALL MAINTAIN THE PERMANENT VEGETATIVE COVER BY MOWING, IRRIGATION, REPAIR OR PLANTING FAILURES OR OTHER METHODS FOR THE DURATION OF THE PROJECT & UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.
 THE PLAN SHOULD INCLUDE PROVISIONS FOR PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER), FOLLOWING COMPLETION OF CONSTRUCTION AND DEVELOPMENT.

MAINTENANCE:
 INSPECT SEEDING AFTER HEAVY RAINS AND REPAIR SEED AND MULCH BARE AREAS UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECT SEEDED AREAS PERIODICALLY UNTIL VEGETATION HAS PERMANENTLY STABILIZED. REPAIR DAMAGED OR FAILURE AREAS ACCORDINGLY.

TEMP. EROSION CONTROL SEEDING

3:1 SLOPES OR FLATTER
 APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
 SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE & APPLICATION RATES.

DATE	TYPE	PLANTING RATE
NOV. 1 TO MAY 1	ANNUAL RYE GRAIN AND TURF TYPE TALL FESCUE	150 LBS/ACRE 100 LBS/ACRE
MAY 1 TO AUG. 15	GERMAN MILLET AND TURF TYPE TALL FESCUE	60 LBS/ACRE 100 LBS/ACRE
AUG. 15 TO NOV. 1	TURF TYPE TALL FESCUE	250 LBS/ACRE

MULCH WITH STRAW APPLIED AT THE RATE OF 145-100 LBS/1000 S.F. - HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
 IF GERMAN MILLET IS USED FOR TEMPORARY COVER DURING SUMMER MONTHS, CONTRACTOR MUST KEEP TEMPORARY MILLET MOVED AND CONTRACTOR MUST OVERSEED WITH THE SPECIFIED RATE OF TURF TYPE TALL FESCUE AFTER THE HEAT OF SUMMER IS PAST BUT NOT BEFORE SEPT. 15 NOR LATER THAN NOV. 1.

MAINTENANCE:
 RESEED AND MULCH AREAS WHERE SEEDLING EMERGENCE IS POOR, OR WHERE EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.

CONSTRUCTION SEQUENCE

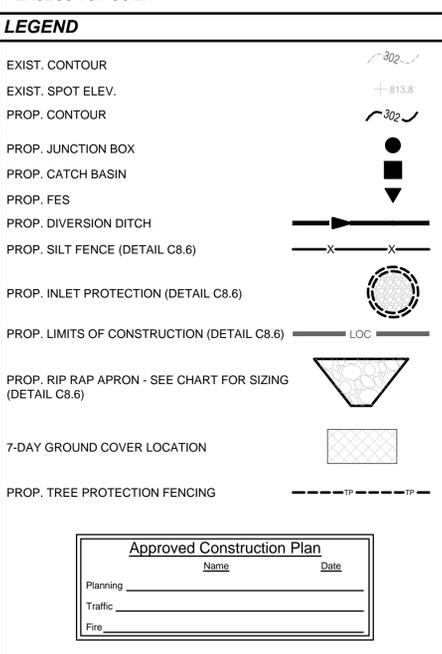
- PHASE II**
- AFTER ALL PHASE I EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND INSPECTED BY AN NCDENR INSPECTOR, CLEARING AND GRADING WITHIN THE PERMITTED CONSTRUCTION LIMITS MAY BEGIN. USE TEMPORARY GROUND COVER STABILIZATION MEASURES AS PRESCRIBED IN THE GROUND COVER REQUIREMENTS TABLE.
 - INSTALL STORM DRAINAGE PIPE AND INLET PROTECTION.
 - INSTALL ANY OTHER UNDERGROUND UTILITIES TO INCLUDE WATER AND SEWER SERVICES.
 - BEGIN FINE GRADING, PAVING AND BUILDING CONSTRUCTION. MAINTAIN EXCAVATED DROP INLET PROTECTION AS LONG AS POSSIBLE. WHEN CONTRIBUTING DRAINAGE AREA TO EACH INLET HAS BEEN STABILIZED, INLET PROTECTION MAY BE REMOVED AND PAVING IN THIS AREA MAY BE PERFORMED.
 - PERMANENTLY STABILIZE ENTIRE SITE AND INSTALL LANDSCAPING.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

STABILIZATION NOTE:

- ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

NOTE:
 CONTRACTOR TO SAVE SUFFICIENT TOPSOIL ON SITE TO BE RE-SPREAD AFTER GRADING IS COMPLETE. HAUL OFF ANY EXCESS TOP SOIL.

LEGEND



EROSION CONTROL KEYS

- CE STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL ON SHEET C8.6.
- SF TEMPORARY SILT FENCING. SEE DETAIL ON SHEET C8.6.
- DF TEMPORARY DOUBLE ROW OF SILT FENCING. SEE DETAIL ON SHEET C8.6.
- IP TEMPORARY BLOCK AND GRAVEL INLET PROTECTION. SEE DETAIL ON SHEET C8.6.
- RO TEMPORARY ROCK OUTLET IN SILT FENCE. SEE DETAIL ON SHEET C8.6.

NEW STABILIZATION TIMEFRAMES
 (Effective Aug. 3, 2011)

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

EROSION CONTROL MAINTENANCE NOTES

- ALL EROSION SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF GREATER THAN 1/2" RAIN IN A 24 HOUR PERIOD. A RAIN GAUGE SHALL BE MAINTAINED ON THE SITE AND A RECORD OF THE RAINFALL AMOUNTS AND DATES SHALL BE KEPT.
- A RECORD OF INSPECTIONS BY THE CONTRACTOR SHALL BE KEPT AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST. VISIBLE SEDIMENTATION FOUND OUTSIDE THE DENUDDED AREA LIMITS SHALL BE RECORDED AND A BRIEF EXPLANATION KEPT WITH THE RECORDS AS TO THE MEASURES TAKEN TO CONTROL FUTURE RELEASES. ANY MEASURES TAKEN TO CLEAN UP THE SEDIMENT THAT HAS LEFT THE DENUDDED AREA LIMITS SHALL ALSO BE RECORDED.

SEEDBED PREPARATION

- AREAS TO BE SEEDDED SHALL BE RIPPED OR TILLED AND SPREAD WITH AVAILABLE TOPSOIL 4" DEEP. TOTAL SEEDBED PREPARED DEPTH SHALL BE 6".
- ROCKS, ROOTS & OTHER OBSTRUCTIONS & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE SEEDBED. SURFACE OF COMPLETED PREPARED SEEDBED SHALL BE LOOSE SMOOTH & UNIFORM. CONTRACTOR SHALL TILL, DISC AND/OR HARROW IF NECESSARY TO ACHIEVE THIS.
- IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME SHALL BE APPLIED ACCORDING TO THE SEEDING SPECIFICATIONS.
- IF SOIL TEST IS TAKEN, APPLY FERTILIZER AND LIME IN ACCORDANCE W/SOIL TEST RECOMMENDATIONS.
- LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.
- IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDDED AREAS WITH A THIN DENSE LAYER OF CLEAN WHEAT STRAW.

DRAWING INFORMATION

TRUE NORTH

NORTH CAROLINA 811
 North Carolina One-Call Center
 Call 811 Before You Dig

PLAN NORTH

GRAPHIC SCALE

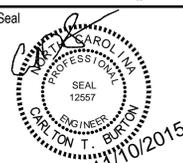
(IN FEET)
 1 inch = 20 ft.

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
 BUILDING VALUES
 106 FOSTER AVENUE
 CHARLOTTE, NC 28203
 (P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
 CIVIL ENGINEERS
 LAND PLANNERS

5950 Fairview Rd., Suite 100, Charlotte, NC 28210
 (704) 553-8881 - Fax (704) 553-8660
 Firm License # 1557



GREENFIELD - FDS
 1313 GREENFIELD STREET
 WILMINGTON, NORTH CAROLINA

PHASE 2 - EROSION CONTROL PLAN

Project
 Title
 Date

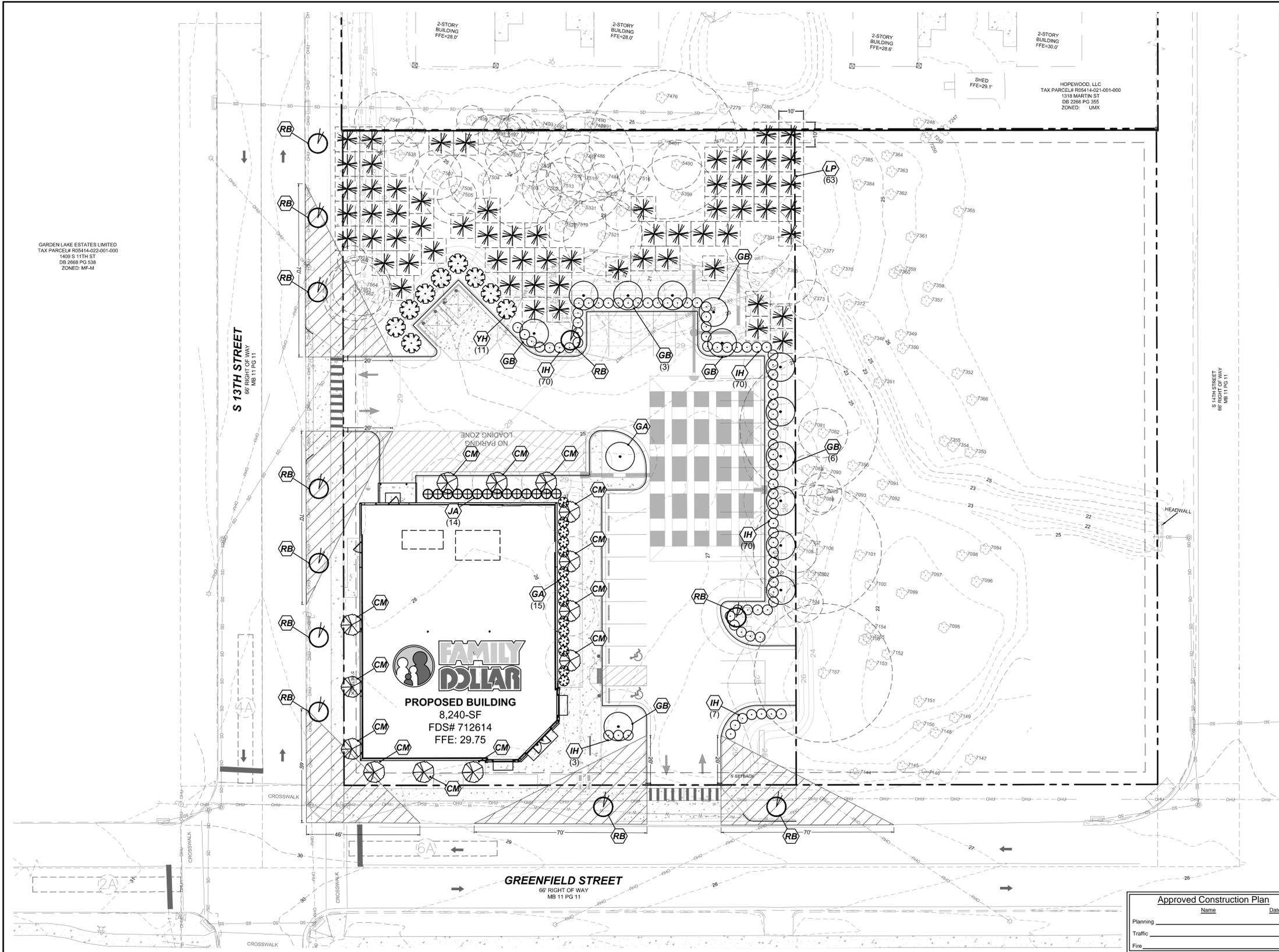
CTB
 Engineer
 LJB
 Drawn By
 9/21/15
 Date

Revisions

1 - 11/10/15 PER TRC & CP/PA COMMENTS

Project Number
 487-064

C6.1
 Sheet 11 of 21



- ### LANDSCAPE NOTES
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
 - ALL PLANTS SHALL BE COMPACT, UNIFORM & WELL GROWN. PLANTS SHALL NOT BE LOOSE, OPEN PLANTS. THE CLIENT'S LANDSCAPE ARCHITECT RESERVES THE RIGHT, IN OUR SOLE OPINION, TO REJECT ANY & ALL MATERIALS WHICH DO NOT MEET THESE REQUIREMENTS.
 - ALL PLANTING BEDS SHALL BE MULCHED A MINIMUM OF 4" WITH PINE NEEDLE MULCH.
 - ALL PLANTS SHALL BE FREE FROM DISEASE, INSECT INFESTATIONS, & INJURIES.
 - ALL PLANT BEDS SHALL HAVE A 4" V-CUT TRENCH INSTALLED AT THE PERIMETER OF THE BED.
 - CONTRACTOR MUST PROVIDE A ONE YEAR WRITTEN GUARANTEE FOR ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
 - THE SPECIES, VARIETIES, & SIZE LISTED SHALL BE PROVIDED AS SPECIFIED. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPLICATION BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT, & WHEN APPROVAL BY SAID LANDSCAPE ARCHITECT IS IN WRITING.
 - SYMBOLS: B&B = BALLED & BURLAPPED, D.C. = ON CENTER, GAL. = GALLON CONTAINER, M.S. = MULTI-STEM, HT. = HEIGHT, CAL. = CALIPER.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANTS ILLUSTRATED ON THE PLANTING PLAN. IF ANY DISCREPANCIES EXIST BETWEEN THE QUANTITIES LISTED ON THE PLANT LIST & THE QUANTITIES SHOWN ON THE PLAN, THE CONTRACTOR SHALL PROVIDE ALL QUANTITIES ILLUSTRATED ON THE PLAN. IF ANY PLANTS ARE SHOWN NOT LABELED, THE CONTRACTOR SHALL VERIFY THE PLANT IDENTITY WITH THE LANDSCAPE ARCHITECT & THESE PLANTINGS SHALL BE INCLUDED IN THE CONTRACTOR'S INITIAL BID.
 - SOIL AMENDMENTS SHALL BE UNIFORMLY SPREAD & CULTIVATED THOROUGHLY BY A MECHANICAL TILLER INTO THE TOP 12" OF SOIL THROUGHOUT SHRUB BEDS.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT & THE OWNER IN WRITING OF ALL SOIL CONDITIONS THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANT MATERIALS. PROPER DRAINAGE MUST BE ASSURED.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE & CONSTRUCTION DEBRIS BEFORE PREPARING SOIL & PLANTING TREES.
 - REMOVE COMPACTED SOIL & ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT & AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
 - ALL STRAPPING & TOP 2/3 OF WIRE BASKET MUST BE REMOVED FROM ROOT BALL PRIOR TO BACK FILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 - ALL SIGNAGE & SITE LIGHTING TO BE COORDINATED AROUND THE TREES LOCATED ON THE PLANTING PLAN. ALL TREES SHOWN ON THE PLANTING PLAN MUST GO IN AS SPECIFIED. ANY CHANGES TO THE PLANTING PLAN COULD RESULT IN A DELAY IN RECEIVING & OCCUPANCY PERMIT.
 - CONSULT PLANT LIST FOR PLANT SIZES & SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION. NOTIFY ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. QUANTITIES ARE FOR CONVENIENCES ONLY.
 - MULCH TO BE PINE NEEDLES.
 - GENERAL CONTRACTOR TO SEED ALL DISTURBED AREAS BEYOND PARKING LOT PERIMETER. LANDSCAPE CONTRACTOR SHALL SEED ALL AREAS WITHIN PARKING AS NOTED.
 - CONTRACTOR MAY CONTACT THE COUNTY INSPECTOR FOR A PRELIMINARY MEETING TO NEGOTIATE CREDIT FOR EXISTING TREES IN THE BUFFER AREA.
 - CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION. NOTIFY ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. QUANTITIES ARE FOR CONVENIENCES ONLY.
 - MULCH TO BE PINE NEEDLES.
 - GENERAL CONTRACTOR TO SEED ALL DISTURBED AREAS BEYOND PARKING LOT PERIMETER. LANDSCAPE CONTRACTOR SHALL SEED ALL AREAS WITHIN PARKING AS NOTED.
 - CONTRACTOR MAY CONTACT THE COUNTY INSPECTOR FOR A PRELIMINARY MEETING TO NEGOTIATE CREDIT FOR EXISTING TREES IN THE BUFFER AREA.
 - COORDINATE LIGHTING PLAN WITH LANDSCAPE PLAN. DO NOT INSTALL LIGHTING OR OTHER UTILITIES IN THE PARKING LOT TREE ISLANDS.

NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES MUST HAVE BRANCHED TRIMMED TO A HEIGHT OF NO LESS THAN EIGHT FEET.

- ### SEEDBED PREPARATION
- AREAS TO BE SEEDED SHALL BE RIPPED OR TILLED AND SPREAD WITH AVAILABLE TOPSOIL 4" DEEP. TOTAL SEEDBED PREPARED DEPTH SHALL BE 6".
 - ROCKS, ROOTS & OTHER OBSTRUCTIONS & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE SEEDBED. SURFACE OF COMPLETED PREPARED SEEDBED SHALL BE LOOSE SMOOTH & UNIFORM. CONTRACTOR SHALL TILL, DISC AND/OR HARROW IF NECESSARY TO ACHIEVE THIS.
 - IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME SHALL BE APPLIED ACCORDING TO THE SEEDING SPECIFICATIONS.
 - IF SOIL TEST IS TAKEN, APPLY FERTILIZER AND LIME IN ACCORDANCE W/SOIL TEST RECOMMENDATIONS.
 - LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.
 - IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH A THIN DENSE LAYER OF CLEAN WHEAT STRAW.

- ### PERMANENT SEEDING SPEC'S.
- 3:1 SLOPES OR FLATTER
APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
- APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
- SEED AT A RATE OF 6 LBS/1000 S.F.
- | DATE | TYPE |
|-------------------|--|
| NOV. 1 TO MAY 1 | ANNUAL RYE GRASS AND TURF TYPE TALL FESCUE |
| MAY 1 TO AUG. 15 | TURF TYPE TALL FESCUE |
| AUG. 15 TO NOV. 1 | TURF TYPE TALL FESCUE |
- MULCH WITH UNCHOPPED, UNWEATHERED SMALL GRAIN STRAW FREE OF SEEDS APPLIED AT THE RATE OF 1 - 2 TONS/ACRE - HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
- THE CONTRACTOR SHALL MAINTAIN THE PERMANENT VEGETATIVE COVER BY MOWING, IRRIGATION, REPAIR OR PLANTING FAILURES OR OTHER METHODS FOR THE DURATION OF THE PROJECT & UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

LANDSCAPING CALCULATIONS

STREET TREE REQUIREMENTS
1 TREE PER 50 LF OF FRONTAGE
S 13TH ST (265-LF FRONTAGE):
7 TREES PROVIDED
GREENFIELD ST (182-LF FRONTAGE):
2 TREES PROVIDED

INTERIOR LANDSCAPING REQUIREMENTS
NO PARKING SPACE MOVE THAN 120' FROM PLANTING ISLAND.
20% OF PARKING AREA TO BE COVERED BY TREE CANOPY.
15,950-SF x 20% = 3,190-SF REQUIRED
3,296-SF PROVIDED

PARKING PERIMETER TREE REQUIREMENTS
1 CANOPY TREE PER 18 TO 27-LF & 3-5' HIGH SHRUB HEDGE
14 TREES PROVIDED (@ 18' O.C.)
70 SHRUBS PROVIDED (@ 4' O.C.)

FOUNDATION PLANTINGS REQUIREMENTS
AREA EQUAL TO 12% OF BUILDING FACE MUST BE LANDSCAPED.
4,186-SF x 12% = 502-SF REQUIRED
1,419-SF OF LANDSCAPING PROVIDED (7 TREES & 29 SHRUBS)

LANDSCAPE SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	LOCATION	TYPE	ROOT/CONTAINER	HEIGHT/SIZE	SPACING
GB	14	GINKGO BILBOA (MALE ONLY)	GINKGO	PARKING/STREET YARD	LARGE MATURING	B & B	2" CAL./8' TALL	AS SHOWN
CM	13	LAGERSTROEMIA INDICA 'NATCHEZ'	CRAPE MYRTLE	BUFFER YARD/BUILDING	UNDERSTORY	B & B	MULTI-STEM MIN. 8' @ INSTALL	AS SHOWN
RB	11	CERCIS CANADENSIS 'TEXENSIS'	TEXAS REDBUD	PARKING/STREET YARD	UNDERSTORY	B & B	2" CAL./8' TALL	AS SHOWN
YH	9	ILEX VOMITORIA	YAUPON HOLLY	DUMPSTER SCREENING	EVERGREEN	B & B.	MIN. 8' @ INSTALL	AS SHOWN
GA	15	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	GLOSSY ABELIA	FOUNDATION PLANTING	EG SHRUB	3 GAL.	SPECIMEN	4' O.C.
JA	14	AUCUBA JAPONICA	JAPANESE AUCUBA	FOUNDATION PLANTING	EG SHRUB	3 GAL.	SPECIMEN	4' O.C.
IH	80	RAPHIOLEPIS UMBELLATA 'VARIEGATA'	INDIAN HAWTHORN	PARKING SCREENING	EG SHRUB	3 GAL.	MIN. 3' @ INSTALL	4' O.C.
LP	63	PINUS PALUSTRIS	LONGLEAF PINE	MITIGATION	LARGE MATURING	PLUG	INDUSTRY STANDARD	AS SHOWN

LANDSCAPE LEGEND

	GINKGO		LONGLEAF PINE
	CREPE MYRTLE		INDIAN HAWTHORN
	TEXAS REDBUD		GLOSSY ABELIA
	YAUPON HOLLY		JAPANESE AUCUBA

DRAWING INFORMATION

TRUE NORTH

PLAN NORTH

NORTH CAROLINA 811
North Carolina One-Call Center
Call 811 Before You Dig

GRAPHIC SCALE
1 inch = 20 ft

Project Number: 487-064

Sheet 12 of 21

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES

106 FOSTER AVENUE
CHARLOTTE, NC 28203
(P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
LANDSCAPE ARCHITECTS
LAND PLANNERS

5950 Fairview Rd., Suite 100, Charlotte, NC 28210
(704) 553-8881 Fax (704) 553-8660
Firm License # 1557



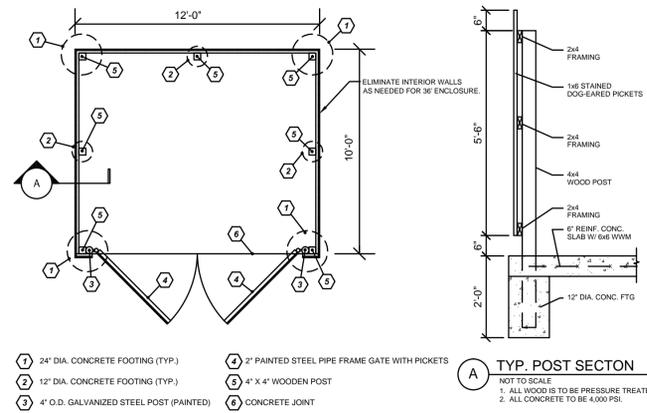
GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA

LANDSCAPE PLAN

Project: CTB
Engineer: LJB
Drawn By: 9/21/15
Date

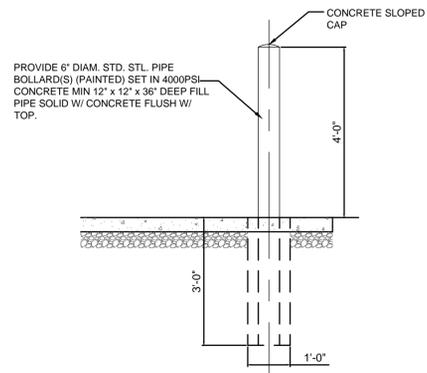
Revisions

1-11/10/15 PER TRC & CP/UA COMMENTS

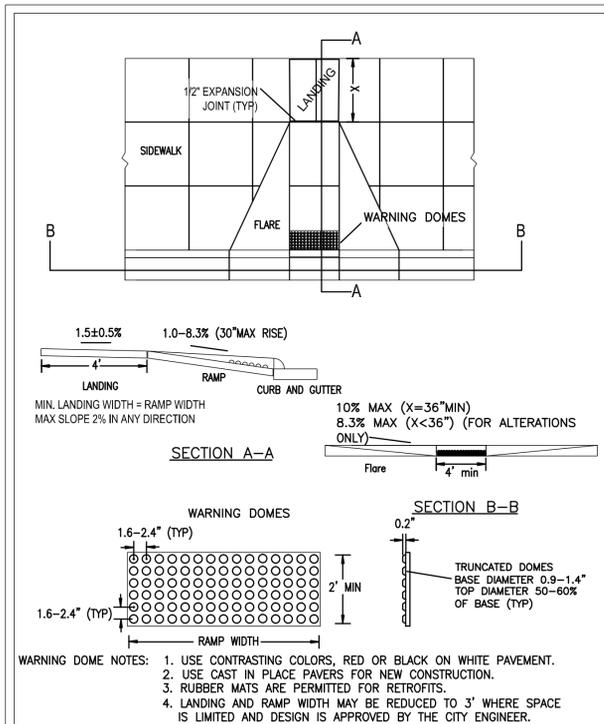


- NOTES:
- HEAVY DUTY HINGES, CENTER SLIDE ROD, CONC. SLAB SLEEVE, CHAIN AND PAD LOCK GATE HWD PROVIDED BY CONTRACTOR

DUMPSTER PAD AND GATE
NOT TO SCALE



TYP. STL. BOLLARD DETAIL
NOT TO SCALE



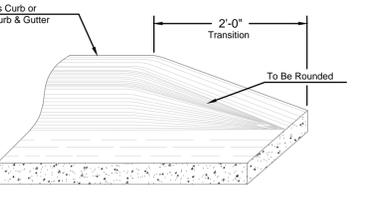
STANDARD DETAIL
PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE
CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807
SD 3-07

ACCESSIBLE PARKING REQUIREMENTS

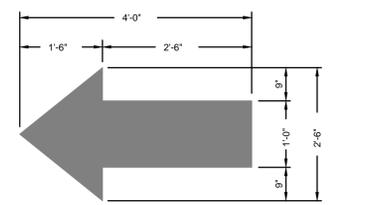
TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	1
501 TO 1000	2% OF TOTAL	1 BARRIER & 1 ACCESSIBLE SPACES
1001 AND OVER	2% PLUS 1 FOR EACH 100 OVER 1000	1 BARRIER & 1 ACCESSIBLE SPACES

NOTE: 1. ALL NEW ACCESSIBLE SPACES SHALL BE MONITORED AT 1 FEET FROM CURB TO BOTTOM EDGE OF SEAT PADS AND 1 FEET FROM CURB TO SEAT BACK. SEATBACK HEIGHT CAN BE REDUCED TO 1 FEET FROM CURB TO SEAT BACK. SEATBACK HEIGHT CAN BE REDUCED TO 1 FEET FROM CURB TO SEAT BACK. SEATBACK HEIGHT CAN BE REDUCED TO 1 FEET FROM CURB TO SEAT BACK.

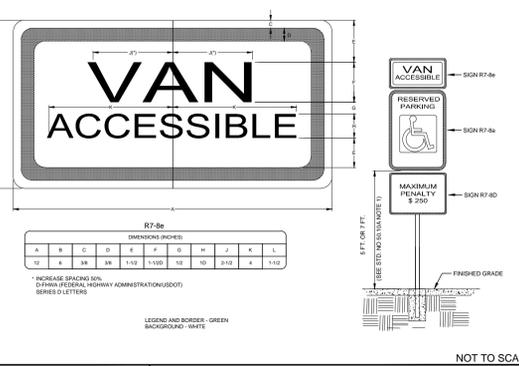
ACCESSIBLE PARKING AND SIGNAGE STANDARDS
NOT TO SCALE



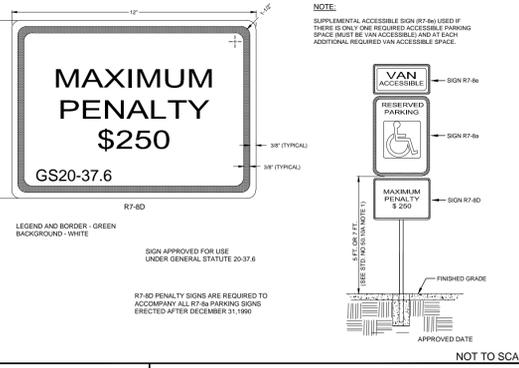
FEATHERING CURB AND GUTTER DETAIL (N.T.S.)



TYPICAL TRAFFIC ARROW
NO SCALE



SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e)
NOT TO SCALE



SUPPLEMENTAL ACCESSIBLE SIGN (R7-8D)
NOT TO SCALE

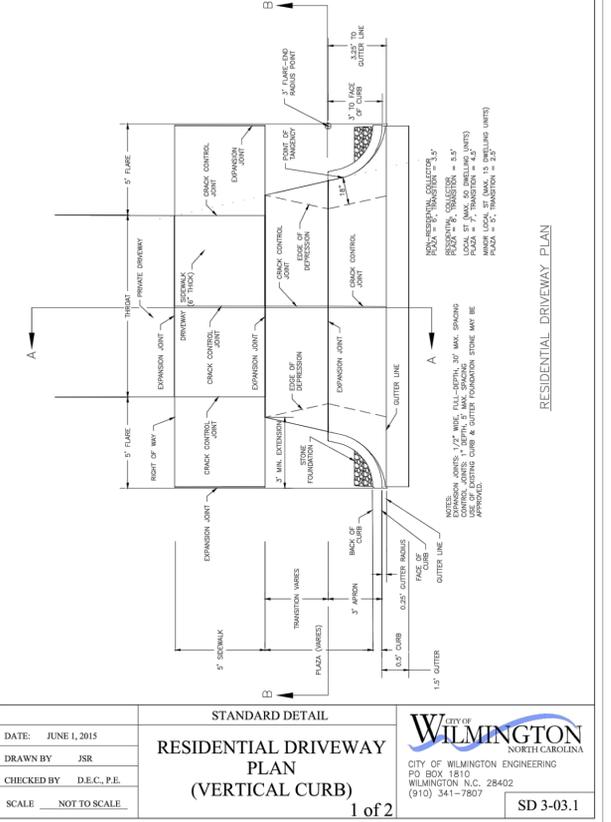
Approved Construction Plan

Name _____ Date _____

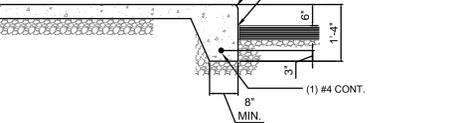
Planning _____

Traffic _____

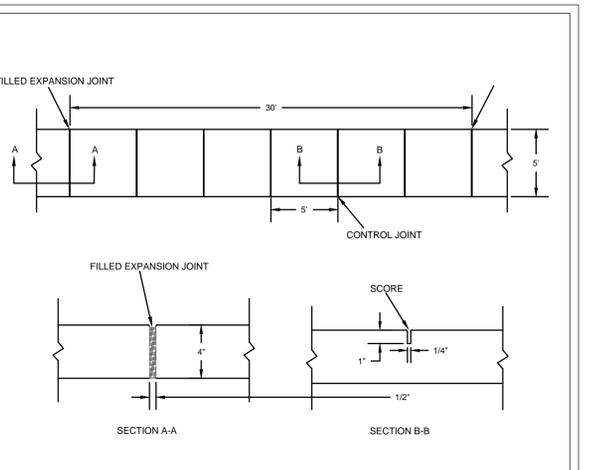
Fire _____



STANDARD DETAIL
RESIDENTIAL DRIVEWAY PLAN (VERTICAL CURB)
1 of 2

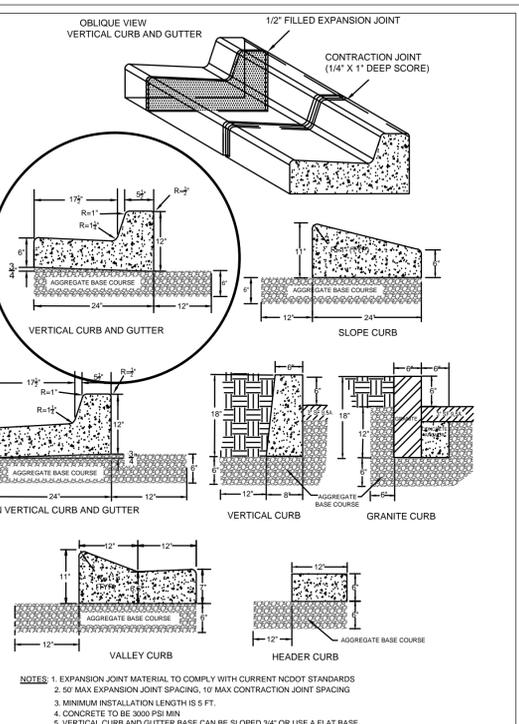


TYP. TURN-DOWN SIDEWALK DETAIL
NOT TO SCALE

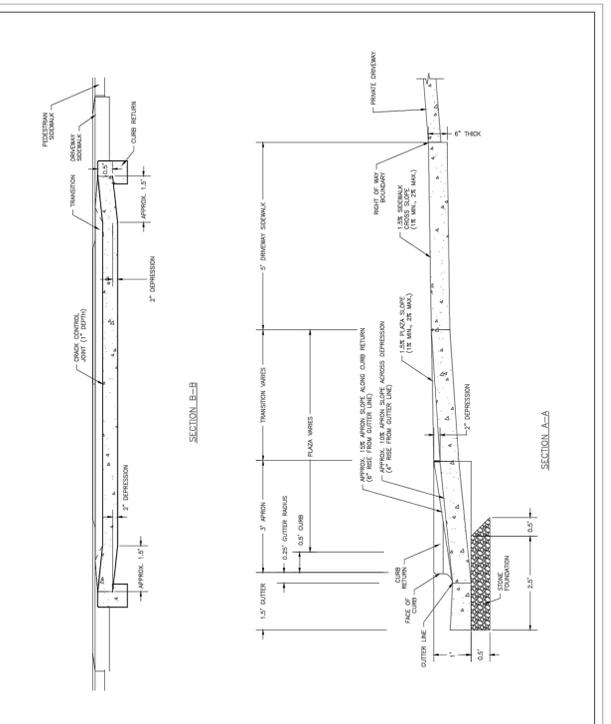


- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD DETAIL
SIDEWALK
CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807
SD 3-10



STANDARD DETAIL
CURBING
CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807
SD 3-11



STANDARD DETAIL
COMMERCIAL DRIVEWAY SECTIONS
2 of 2
CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807
SD 3-03.4

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(704) 319-8347

BURTON ENGINEERING ASSOCIATES
ENGINEERS
LAND PLANNERS
5950 Fairview Rd., Suite 100 Charlotte, NC 28210
(704) 553-8881 Fax (704) 553-9860
Firm License # 1557



GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA
GENERAL DETAILS

Project Title
CTB
Engineer
LJB
Drawn By
9/21/15
Date
Revisions
1-11/10/15 PER TRC & CP/PA COMMENTS
Project Number
487-064
C8.0
Sheet 13 of 21

SOILS 90% MIN. COMPACTION 95% MIN. UNDER PAVEMENT

OVERFILL SOIL

HAUNCH

PIPE

SPRINGLINE LOWER SIDE

OUTER BEDDING

MIDDLE BEDDING UNCOMPACTED

PIPE WIDTH +24"

6" MIN. OR 12" MIN. STONE FOR PIPE >36"

FOR BEDDING AND HAUNCH USE NATIVE GRANULAR, SELECT BACKFILL OR STONE AS DIRECTED BY ENGINEER

20' MAX

NOTES:

- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR PIPE INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
- CONTRACTOR TO INSTALL BEDDING AND PIPE BEFORE INSTALLING HAUNCH AND THEN OVERFILL. SOILS SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED TO MIN. % DENSITY AS DETERMINED BY THE STANDARD PROCTOR ASTM D-698-A METHOD.
- WHERE IN PAVEMENT, CONTRACTOR SHALL ADHERE TO CITY STREET CUT POLICY AND SD 1-04 OR SD 1-05 FOR ROAD AND PAVEMENT REBUILD.
- SOIL SHALL BE COMPACTED BY A MECHANIZED TAMP (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
- THIS DETAIL IS REPRESENTATIVE AND PIPE TRENCH DESIGN IS SUBJECT TO SPECIFIC SOIL CATEGORY (I, II, III), AND INSTALLATION TYPE (1, 2, 3, 4), AS DIRECTED BY THE ENGINEER AND SITE CONDITIONS.

STANDARD DETAIL
DATE: MAY, 2013
DRAWN: JSR
CHECKED: BDR, P.E.
SCALE: NOT TO SCALE

PIPE TRENCH TYPICAL

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 1-07

DIAMETER

DIAMETER

PLAN

SECTION X-X

DIAMETER + 1"

RIP RAP

SCOUR PROTECTION

20'

SEE SHEET 2 OF 2 FOR DIMENSION TABLE

NOTE:

- STRUCTURAL DESIGN OF END SECTION SHALL CONFORM WITH THAT OF STANDARD REINFORCED CONCRETE.

PIPE DIAMETER WALL THICKNESS SLOPE B C D E UNIT WEIGHT

12	2 1/4	3:1	24	49	73	24	730
15	2 1/4	3:1	27	46	73	30	910
18	2 1/2	3:1	27	46	73	36	1190
21	2 3/4	3:1	36	37	73	42	1370
24	3	3:1	42	31 1/2	73 1/2	48	1770
27	3 1/4	3:1	48	25 1/2	73 1/2	54	2130
30	3 1/2	3:1	54	19 3/4	73 3/4	60	2380
33	3 3/4	3:1	60	36	96	66	3870
36	4	3:1	63	34 3/4	97 3/4	72	5320
42	4 1/2	3:1	63	35	98	78	5920
48	5	3:1	72	26	98	84	7470
54	5 1/2	2.4:1	66	34	100	90	8810
60	6	2:1	60	39	99	96	11180
72	7	2:1	78	21	99	108	13980

DIMENSIONS IN INCHES WEIGHTS IN POUNDS

STANDARD DETAIL
DATE: 2001
DRAWN BY: JSR, CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

FLARED END SECTION OUTLET

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 1-17

NOTE:

- STRUCTURAL DESIGN OF END SECTION SHALL CONFORM WITH THAT OF STANDARD REINFORCED CONCRETE.

PIPE DIAMETER WALL THICKNESS SLOPE B C D E UNIT WEIGHT

12	2 1/4	3:1	24	49	73	24	730
15	2 1/4	3:1	27	46	73	30	910
18	2 1/2	3:1	27	46	73	36	1190
21	2 3/4	3:1	36	37	73	42	1370
24	3	3:1	42	31 1/2	73 1/2	48	1770
27	3 1/4	3:1	48	25 1/2	73 1/2	54	2130
30	3 1/2	3:1	54	19 3/4	73 3/4	60	2380
33	3 3/4	3:1	60	36	96	66	3870
36	4	3:1	63	34 3/4	97 3/4	72	5320
42	4 1/2	3:1	63	35	98	78	5920
48	5	3:1	72	26	98	84	7470
54	5 1/2	2.4:1	66	34	100	90	8810
60	6	2:1	60	39	99	96	11180
72	7	2:1	78	21	99	108	13980

DIMENSIONS IN INCHES WEIGHTS IN POUNDS

STANDARD DETAIL
DATE: 2001
DRAWN BY: JSR, CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

FLARED END SECTION OUTLET DIMENSION TABLE

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 1-17

CURB GRADE

VARIES

8" BRICK WALLS 3/4" CEMENT PLASTER

OUTLET

SECTION "A-A"

SECTION "B-B"

5'-10" MIN.
5'-4"
4'-0"

PVMT. CURB & GUTTER

CASTING

2'-10"
3'-10"
4'-4" MIN.

NOTE:

- 4" DEEP X 8" WIDE CONCRETE COPING ALL AROUND BASIN CASTING.
- ALL CONCRETE TO BE CLASS "A"
- FOR CASTING DETAIL SEE SD 2-16

STANDARD DETAIL
DATE: 2006
DRAWN BY: JSR, CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CATCH BASIN

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 2-01

PLAN

SECTION "A-A"

SECTION "B-B"

FINISH AS GRADED

STD. CITY OF WILMINGTON M.H. COVER. SEE DETAIL SHEET SD-14-01 & 14-02

3/4" CEMENT PLASTER MAX. CORBEL 1" PER COURSE

STEPS

VARIES - SEE PLAN / PROFILE

STANDARD DETAIL
DATE: 2001
DRAWN BY: JSR, CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

GUIDELINES FOR STORM DRAIN MANHOLE

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 2-03

RADIUS FRONT WHEN REQ.

1/2" ROD 3/8" GROOVE

DIAMOND GRID TOP

DETAIL OF HANDLE

MINIMUM AVERAGE WEIGHT FRAME (EACH) 65LBS. COVER (RADIUS) 225 LBS. COVER (STR.) 225 LBS.

SECTION "A-A"

TOP VIEW

LEFT ENDS RIGHT

SECTION "B-B"

SECTION

STANDARD DETAIL
DATE: 2001
DRAWN BY: JSR, CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CATCH BASIN CASTINGS DETAIL

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 2-16

PLAN FRAME, GRATE & HOOD ASSY

SECTION - BB

SECTION - PP

SECTION - AA

SECTION - NN

SECTION - RR

SECTION - JJ

SECTION - KK

NOTE: USE TYPE "E", "F", & "G" GRATE UNLESS OTHERWISE INDICATED

STANDARD DETAIL
DATE: 2001
DRAWN BY: JSR, CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CATCH BASIN CASTING FOR 24" HOOD AND GRATE

CITY OF WILMINGTON NORTH CAROLINA
ENGINEERING OFFICE
305 CHESTNUT STREET
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 2-21

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
ENGINEERS
LAND PLANNERS
5950 Fairview Rd. Suite 100 Charlotte, NC 28210
(704) 552-8881 Fax (704) 552-8860
Firm License # 1557



GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA

STORM DETAILS

Project
Engineer
LJB
Drawn By
9/21/15
Date

Revisions
1-11/10/15 PER TRC & CPJ/A COMMENTS

Approved Construction Plan

Name _____ Date _____

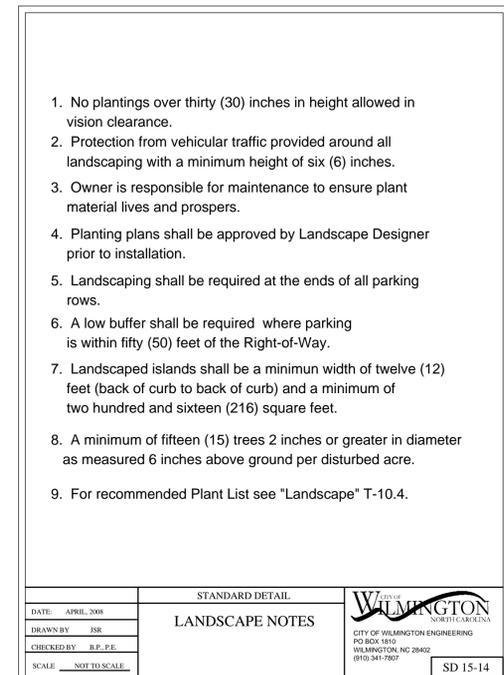
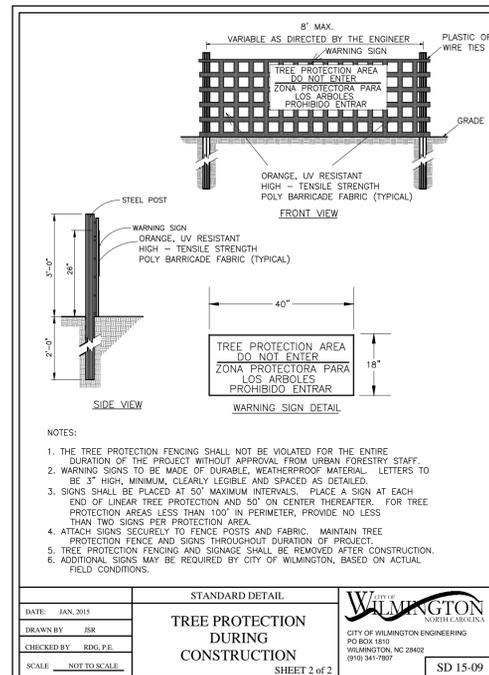
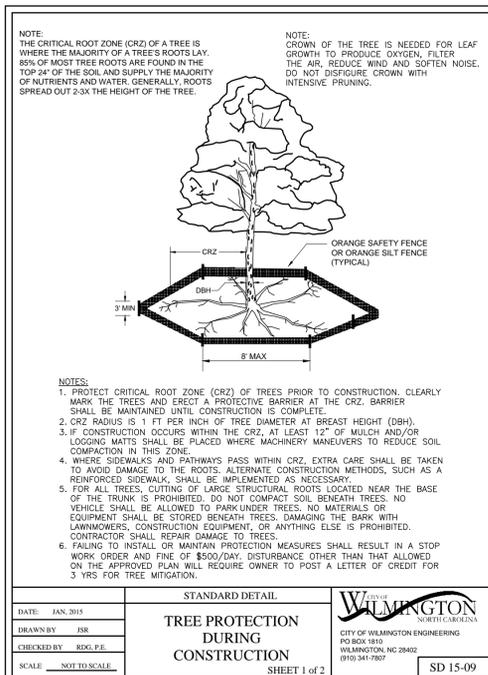
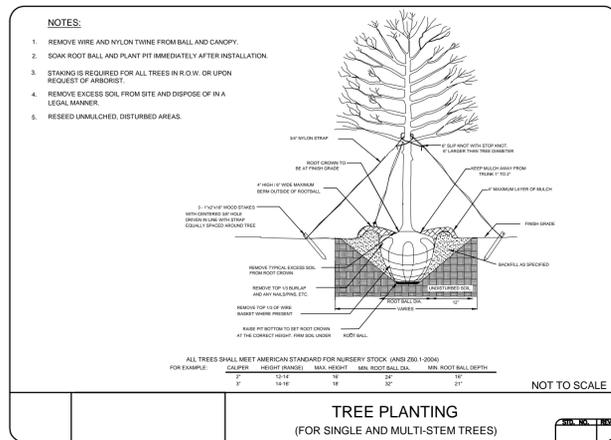
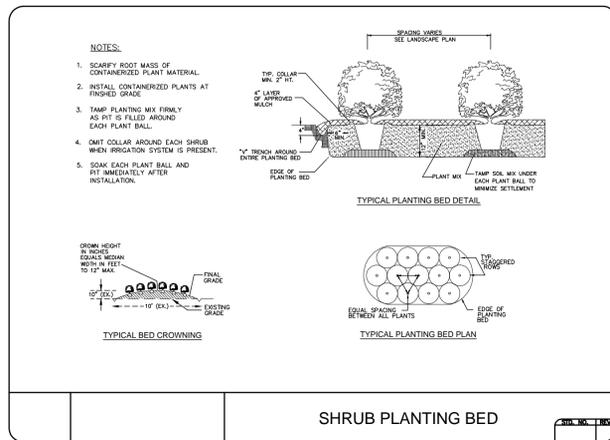
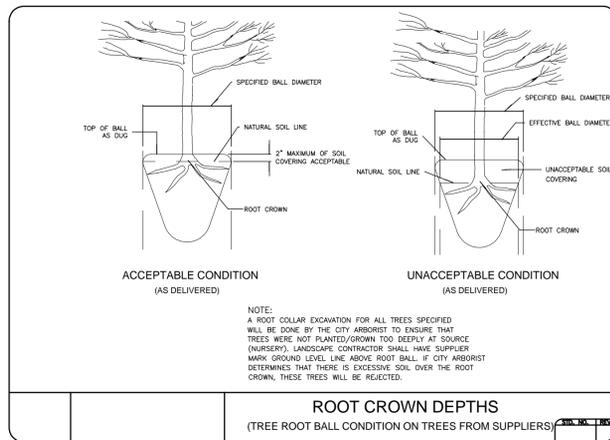
Planning _____

Traffic _____

Fire _____

Project Number
487-064

C8.5
Sheet 18 of 21



THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(P) 704-319-8347

BURTON ENGINEERING ASSOCIATES
LANDSCAPE ARCHITECTS
LAND PLANNERS
5950 Fairview Rd. Suite 100 Charlotte, NC 28210
(704) 552-8881 Fax (704) 552-8860
Firm License # 1557



GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA

LANDSCAPING DETAILS

Project: **CTB**
Engineer: **LJB**
Drawn By: **9/21/15**
Date

Revisions
1 - 1/10/15 PER TRC & CP/PA COMMENTS

Project Number: **487-064**

C8.7
Sheet 20 of 21

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

LL OR GC IS TO PROVIDE AND INSTALL A MAIL BOX IF LOCAL POST OFFICE REQUIRES. COORDINATE WITH FAMILY DOLLAR FOR MAIL BOX SIZE REQUIREMENTS.

SITE SOILS NOTE:
THE SERVICES OF A GEOTECHNICAL ENGINEER LICENSED PER LOCAL REQUIREMENTS SHALL BE RETAINED TO PROVIDE A SUBSURFACE EXPLORATION OF THE SITE SOILS AND PROVIDE RECOMMENDATIONS FOR PREPARATION AND DEVELOPMENT OF SOILS. GEOTECHNICAL INVESTIGATION RECOMMENDATIONS OF THE SOILS BELOW THE BUILDING AND PARKING LOT ARE TO BE FOLLOWED. LL IS RESPONSIBLE FOR BORINGS @ FINAL BLDG. LOCATION CHOSEN. VERIFY GRADING PER CIVIL DRAWINGS. CONSULT ARCH/STRUCTURAL ENG. IF GRADING REQUIRES STEPPED FOOTINGS, PRIOR TO CONSTRUCTION.

SITE PLAN TO INDICATE FINISH FLOOR ELEVATION OF SLAB.
FINISH GRADE SHALL BE A MINIMUM OF 4" BELOW THE FINISHED SLAB (TYP)

PROVIDE INSECT /TERMITE TREATMENT PER BONDED (WARANTEED) AUTHORIZED INSTALLING SUBCONTRACTOR AND LL IS TO FORWARD PROOF OF SAME TO FDS.

FAMILY DOLLAR CRITERIA

SITE PLAN REQUIREMENTS

ALL SITE PLANS MUST BE APPROVED BY FDS PRIOR TO SUBMISSIONS FOR BUILDING AND SITE PERMITS
ALL SITE PLANS MUST CONTAIN THE FOLLOWING INFORMATION AND BE DRAWN ACCORDINGLY. PREPARE SITE PLANS CAREFULLY AND THOROUGHLY. SITE PLANS NOT APPROVED BY FDS PRIOR TO SUBMISSIONS MAY BE REJECTED OUTRIGHT OR SENT BACK FOR REVISIONS RESULTING IN LIKELY DELAYS IN COORDINATE SITE REVIEW/APPROVAL PROCESS AND/OR LEASE PREPARATION.
SITE PLANS SHOULD BE PREPARED BY AN ENGINEER LICENSED PER LOCAL REQUIREMENTS AND SHOULD NOT BE PREPARED UNTIL THE SITE INVESTIGATION REPORT IS COMPLETED. THIS S.I.R. REPORT, WHEN FINISHED, WILL CONTAIN IMPORTANT INFORMATION, CRITERIA, SPECIFICATIONS, REQUIREMENTS, ETC. IMPORTANT IN CREATING ACCURATE SITE PLANS.

SITE DESIGN

GENERAL INSTRUCTIONS

- PLANS SHALL BE SUBMITTED AT A SCALE OF EITHER 1" = 20' OR 1" = 30', UNLESS OTHERWISE INDICATED BY FAMILY DOLLAR STORES. ALL PLANS MUST BE PREPARED BY A CIVIL ENGINEER LICENSED PER LOCAL REQUIREMENTS. NO HAND DRAWN SITE PLANS WILL BE ACCEPTED.
- ALL DRAWINGS, INCLUDING REVISIONS, MUST BE PREPARED IN ADF (PDF) FORMAT AND SUBMITTED AS A SCANNED IMAGE FILE (PDF, TIFF, JPG OR DWG) AS E-MAIL OR ON CD/DVD TO FAMILY DOLLAR STORES AFTER ALL APPROVALS HAVE BEEN OBTAINED.
- LANDLORD IS REQUIRED TO SUBMIT PAPER COPY, CAD OR PDF, AS-BUILT SURVEY. SITE PLANS MUST BE LEGIBLE. SEND IN LARGEST COPY POSSIBLE ON 24" X 36" PAPER.
- OUR PREFERRED BUILDINGS ARE 102X 90, 90' X 102, 104' X 80, 80' X 104, 100' X 80 AND 80' X 100'. THE 70' X 130' OR 130' X 70' ARE NOT PREFERRED AND SHOULD BE USED ONLY BY EXCEPTION. EACH SAMPLE PLAN ATTACHED HAS A MIRROR IMAGE. BUILDING ON LEFT SIDE IS "A" AND BUILDING ON RIGHT IS "B". DECIDE ON WHICH TO USE IS A FUNCTION OF MANY FACTORS INCLUDING VISIBILITY, LOCATION OF CURB CUT, TRAFFIC GOING HOME SIDE, ETC. CONSULT WITH YOUR E.M. ARCHITECT.
- PLAN SET SHALL INCLUDE SEPARATE GENERAL PLAN OF OVERALL DEVELOPMENT INCLUDING ALL PROPOSED BUILDINGS, ENTRANCES, DRIVE AISLES AND INTERSECT TRUCK ROUTES INCLUDING DIMENSIONS.
- THE HORIZONTAL AND VERTICAL LOCATION OF THE BUILDING AND FREE-STANDING SIGNS SHALL BE PLACED IN SUCH A MANNER AS TO NOT IMPAIR THE VISIBILITY OF THE BUILDING OR SIGNS.

PROPERTY DETAIL REQUIRED ON EACH PLAN

- SHOW ENTIRE SITE AND ALL PROPERTY LINE METES & BOUNDS WITH NORTH ARROW CLEARLY IDENTIFIED
- SHOW AND LABEL ALL BUILDING AND PARKING SETBACK LINES AS REQUIRED BY LOCAL CODE OR ORDINANCE. SHOW AND LABEL ALL LANDSCAPING OR ENVIRONMENTAL BUFFERS AS REQUIRED BY LOCAL CODE OR ORDINANCE.
- SHOW ALL BUILDINGS, BOTH EXISTING AND PROPOSED
- LABEL NAME OF EACH ROAD USED TO ACCESS SITE, AS WELL AS ALL ROADS ADJACENT TO PROPERTY. LABEL HIGHWAY NUMBER(S), IF APPLICABLE
- SHOW EXISTING PAVEMENTS IF APPLICABLE & ALL PROPOSED PAVEMENTS. ALL PROPOSED PAVEMENTS SHALL BE CONSTRUCTED OF EITHER ASPHALT OR CONCRETE. GRAVEL PARKING OR DRIVE AREAS ARE STRICTLY PROHIBITED
- SHOW PROPOSED ROADWAY SIGN LOCATIONS, AS WELL AS ANY EXISTING SIGN LOCATIONS, IF APPLICABLE
- SHOW DUMPSTER PAD NUMBER, DUMPSTERS REQUIRED (REFER TO LEASE AGREEMENT FOR SIZE AND VOLUME OF DUMPSTERS)
- DUMPSTER PAD MUST BE ADJACENT TO THE DELIVERY DOOR AND MUST BE EASILY ACCESSIBLE TO LARGE TRASH COLLECTION TRUCKS
- DUMPSTER PAD & APPROX. DUMPSTER PAD AND APPROX. SHALL BE MIN. 8" 3500 PSI CONCRETE SLAB REINFORCED WITH MIN. #4 REBARS @ 12-IN. ON CENTER IN EACH DIRECTION LOCATED IN THE UPPER THIRD OF SLAB. PROVIDE (2) PIPE BOLLARDS PER FDS DETAIL AT REAR OF PAD BEHIND EACH DUMPSTER. IF AN ENCLOSURE IS REQUIRED BY LOCAL CODE OR ORDINANCE, PROVIDE A DETAIL FOR FAMILY DOLLAR TO REVIEW AND APPROVE. ALL ENCLOSURES SHALL HAVE GATES CONSTRUCTED OUT OF STEEL FRAME TUBING (MINIMUM WITH PIVOT HINGES MOUNTED ON 6" PIPE BOLLARDS. SET PIPE BOLLARDS IN MINIMUM 12" X 12" X 3" DEEP CONCRETE FILL FOOTING. PROPER LATCHING & LOCK HARDWARE SHALL BE PROVIDED IN ORDER TO RESTRAIN AND/OR LOCK ENCLOSURE GATES
- PROVIDE MIN. 8 FT. X 8 FT. X 4-IN. THICK 3,500 PSI CONCRETE PAD WITH (1) 6" PIPE BOLLARD @ EACH CORNER OF THE PAD FURTHEST AWAY FROM THE BUILDING. REINFORCE CONCRETE PAD WITH MIN. #6 W/ 4XW/1 W/WF LOCATED IN THE UPPER THIRD OF SLAB
- PROVIDE MIN. 8 FT. X 4 FT. X 4-IN. THICK 3,500 PSI CONCRETE PAD AT EVERY MAIN DOOR THAT DOES NOT EXIT DIRECTLY TO A SIDEWALK. REINFORCE CONCRETE PADS WITH MIN. #6 W/ 4XW/1 W/WF LOCATED IN THE UPPER THIRD OF SLAB
- PROVIDE 6-IN THICK 3,500 PSI CONCRETE PAD AT HVAC EQUIPMENT LOCATIONS. SIZE OF PADS SHALL BE BASED UPON SIZE OF SELECTED EQUIPMENT WITH PROPER CLEARANCES. REINFORCE CONCRETE PADS WITH MIN. #4 REBARS @ 12-IN. ON CENTER IN EACH DIRECTION LOCATED IN THE UPPER THIRD OF SLAB

BUILDING AND PARKING

- ALL PAVEMENTS, LANDSCAPE AND GRADING BUFFERS SHALL BE SHOWN ON THE PLANS, AS REQUIRED BY LOCAL ORDINANCE. BUILDING SHOULD FACE PRIMARY ROAD WITH HIGHEST TRAFFIC COUNT; POSITION BUILDING FOR OPTIMAL VISIBILITY
- PROVIDE ALL BUILDING DIMENSIONS
- IDENTIFY STORE FRONT, FRONT DOORS, AND DELIVERY AREA DOORS.
- SHOW SIDEWALK. PREFER 6" BUT WILL ACCEPT 8" MIN. DEPTH. ADD 3" SIDEWALK TO SIDE OF BUILDING IF THERE IS PARKING AGAINST BUILDING. UNDER NO CIRCUMSTANCE WILL PARKING BE ALLOWED AGAINST THE BUILDING WITHOUT A SIDEWALK BETWEEN THE BUILDING AND THE PARKING
- ALL SIDEWALKS TO BE CONSTRUCTED OF MIN. 4-IN THICK 3500 PSI CONCRETE REINFORCED WITH #6 W/ 4XW/1 W/WF. ALL SIDEWALKS SHALL HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 8 FT. SPACING IN ANY DIRECTION
- PREFERRED NUMBER OF PARKING SPACES FOR FREESTANDING SITES IS 36. MINIMUM IS 25 DEPENDING ON LAYOUT, ALL PARKING SHOULD BE DESIGNED TO BE CONVENIENT AND CLOSE TO FRONT DOOR. SHOW MIN. 2 HANDICAPPED SPACES, AND SATISFY ALL ZONING ORDINANCES.
- MINIMUM PARKING ISLAND DIMENSIONS SHALL BE 8' X 18' AND SATISFY ALL ZONING ORDINANCES
- STRIPES ISLANDS AT BAY ENDS UNLESS REQUIRED FOR TRAFFIC CONTROL OR LOCAL ORDINANCE
- ALL PAVEMENT MARKINGS SHALL BE ACCOMPLISHED WITH USE OF PAINTING MACHINES AND/OR STENCILS. ALL PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF SOLVENT RESISTANCE APPLICATIONS STATED BELOW. PARKING STRIPES AND ISLAND STRIPING SHALL BE 4-IN WIDE AND SHALL BE STRAIGHT WITH A "CLEAN" EDGE. ALL DIRECTIONAL ARROWS, STOP BARS, ETC. SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- ALL PARKING SPACES ARE REQUIRED TO HAVE WHEEL STOPS PROVIDED, UNLESS PREVIOUSLY APPROVED BY FAMILY DOLLAR
- PARKING AREA DRIVE AISLES ARE TO BE MIN. 30'. (REFER TO SHEET C-2 FOR TYPICAL SITE PLAN EXAMPLES).

PAVEMENT DESIGN

- ASPHALT PAVEMENT
 - STANDARD (LIGHT) DUTY MINIMUM SECTION IS ONE (1) INCH ASPHALT SURFACE COURSE, TWO (2) INCHES OF BINDER COURSE, AND SIX(6) INCHES OF COMPACTED STONE BASE COURSE. TO BE USED WHEN PERFORMING CALCULATIONS.
 - HEAVY DUTY MINIMUM SECTION IS ONE (1) INCH ASPHALT SURFACE COURSE, TWO (2) INCH BINDER COURSE, AND EIGHT (8) INCHES COMPACTED STONE BASE COURSE. TO BE USED WHEN PERFORMING CALCULATIONS FOR ALL TRUCK CIRCULATION AREAS.
- CONCRETE PAVEMENT
 - CONCRETE PAVEMENT SHALL BE DESIGNED USING ACI 308R-08 GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS; THE CONCRETE DESIGN RECOMMENDATIONS SHOULD BE BASED ON CBR TESTS THAT ARE CORRELATED TO THE MODULUS OF SUBGRADE REACTION ("K" VALUE) DESIGN. SHALL INCLUDE RECOMMENDATIONS FOR BOTH STANDARD DUTY AND HEAVY DUTY SECTIONS
 - WHEN USING THE ACI 308R-08, THE CONCRETE PAVEMENT SECTIONS SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER FOR A 20 (TWENTY) YEAR DESIGN LIFE WITH A 95% RELIABILITY FOR XX LOADED TRACTOR TRAILERS PER DAY AND XX CARS PER DAY.
 - FAMILY DOLLAR MINIMUM REQUIRED CONCRETE STRENGTH IS 4,000 PSI CORRESPONDING TO A FLEXURAL STRENGTH OF 800 PSI. FAMILY DOLLAR MAXIMUM ALLOWABLE DESIGN SUBGRADE K VALUE IS 30 P/SIN. THE CONCRETE PAVEMENT TYPE SHALL BE UNREINFORCED OR JOINTED PLAN CONCRETE (JPC). JOINTING RECOMMENDATIONS SHOULD FOLLOW AC308R-08 SECTION 3.1 AND APPENDIX C. FAMILY DOLLAR MAXIMUM JOINT SPACING IS 24' CONCRETE PAVEMENT THICKNESS, NOT TO EXCEED 15 FEET. A JOINTING PLAN SHALL BE PROVIDED BY THE DESIGN ENGINEER IDENTIFYING LOCATION A SPACING OF CONTRACTION AND ISOLATION JOINTS.
 - STANDARD (LIGHT) DUTY MINIMUM SECTION IS FIVE (5) INCHES OF 4000 PSI PORTLAND CEMENT CONCRETE OVER COMPACTED SUBGRADE. WHEN DESIGNING THE LIGHT DUTY AREA, GRANULAR BASE SHOULD ONLY BE CONSIDERED FOR UNSUBSALINE SOIL CONDITIONS AND THE RECOMMENDATION WILL NEED TO BE JUSTIFIED. RECONDITIONING OF SOIL WITH CEMENT, FLY ASH, OR LIME TO A MINIMUM DEPTH OF 6 INCHES MAY BE RECOMMENDED IN LIEU OF GRANULAR BASE FOR A WORKING PLATFORM, AND SHOULD BE USED TO MITIGATE EXPANSIVE SUBGRADE SOILS IN LIEU OF GRANULAR BASE.
 - STANDARD HEAVY DUTY MINIMUM SECTION IS SIX (6) INCHES OF 4,000 PSI PORTLAND CEMENT CONCRETE OVER COMPACTED SUBGRADE. WHEN DESIGNING THE HEAVY DUTY AREA, 4 INCHES OF COMPACTED GRANULAR BASE SHOULD BE CONSIDERED WHEN THE NATURAL SUBGRADE K-VALUE IS LESS THAN 200 P/SIN. THE INCLUSION OF GRANULAR BASE SHOULD INCREASE THE EFFECTIVE K-VALUE ACCORDING TO TABLE 3.2 IN ACI 308R-08.

SOLVENT/RESIN APPLICATION RECOMMENDATION

- SURFACES SHOULD BE CLEAN, DRY AND FREE FROM LOOSE AND PEELING PAINT. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 32 DEGREES, AND WHEN THE RELATIVE HUMIDITY EXCEEDS 90%.
- THE PRESENCE OF CONCRETE SEALERS OR EFFLORESCENCE ON NEW CONCRETE MAY INTERFERE WITH ADHESION AND SHOULD BE REMOVED BY EXTENDED.
- MOST PREVIOUSLY PAINTED LINES MAY BE REPAIRED WITHOUT ADDITIONAL SURFACE PREPARATION PROVIDED THAT THE OLD PAINT IS STILL TIGHTLY ADHERED TO THE SURFACE. MULTIPLE COATERS OF OLD PAINT WILL EVENTUALLY PEEL AND WOULD REQUIRE REMOVAL.
- NEW ASPHALT SURFACES SHOULD IDEALLY BE ALLOWED TO AGE SEVERAL MONTHS PRIOR TO STRIPING. SOLVENT BASED PAINT MAY CAUSE THE TARS TO BLEED THROUGH ON NEW ASPHALT OR RECENTLY SEALED ASPHALT. APPLY A TEST STRIP TO DETERMINE IF THE ASPHALT HAS AGED SUFFICIENTLY. IT IS NECESSARY TO PAINT A FRESH ASPHALT SURFACE. USE A WATERBORNE PAINT FOLLOWING THE RECOMMENDED PROCEDURE.

APPLICATION NOTES

THE RECOMMENDED APPLICATION RATE IS 15 MLS/YEFT FILM THICKNESS FOR NEW LINES. FOR REPAIRS OF EXISTING LINES, A THINNER LINE FILM OF 10 MLS IS OFTEN ADEQUATE. EXCEEDING THE RECOMMENDED FILM THICKNESS WILL RESULT IN MUCH SLOWER DRY TIMES AND MAY RESULT IN LIFTING, CRACKING OR POOR ADHESION.

SLIP RESISTANT ADDITIVE

APPROXIMATELY 8 POUNDS PER GALLON OF SLIP RESISTANT ADDITIVE IS REQUIRED.

SMS#	ITEM#	DESCRIPTION
80005923	TM2712	PROMAR LOW VOC WHITE (ACETONE)
80005923	TM2713	PROMAR LOW VOC YELLOW (ACETONE)
80006979	TM 5628	PROMAR LOW VOC RED (ACETONE)
80005441	TM 5629	PROMAR LOW VOC BLACK (ACETONE)
800051484	TM5627	CALIFORNIA VOC YELLOW
800059372	TM5626	CALIFORNIA VOC WHITE

TO ACHIEVE THE HANDICAPPED COLOR BLUE, THE ADDITION OF 4 OUNCES OF SHERWIN-WILLIAMS L-2 BLUE COLORANT PER GALLON IS REQUIRED. HANDICAPPED STENCILS ARE AVAILABLE UPON REQUEST.

GRADING

- GENERAL:
 - BALANCE SOILS ON-SITE IF POSSIBLE. DETERMINE SOURCES OF DISPOSAL/ACQUISITION OF SOILS, IF NECESSARY.
 - BUILDING SHALL BE ACCESSIBLE BY GRADE LEVEL PARKING ONLY (ENTRY DOOR, 2ND EXIT, RECEIVING DOOR), STEPS AND STAIRS ARE NOT PERMITTED.
 - LL REQUIRED TO SUBMIT "AS-BUILT" SURVEY AND "CERTIFICATION OF SLAB ELEVATION"
- PARKING LOT SLOPES:
 - MAXIMUM SLOPE 4%.
 - MINIMUM SLOPE 1.0%.
 - MAXIMUM 2% CROSS SLOPE WITHIN 150' OF FRONT DOOR.
 - MAXIMUM SLOPE 6% FOR ENTRANCES AND ACCESS DRIVES.
 - MINIMUM 2% SLOPE WHERE EXPANSIVE SOILS ARE STABILIZED OR NOT REMOVED AS ALLOWED BY GEOTECHNICAL ENGINEER
 - DELIVERY AREA SLOPE MAX SHALL NOT EXCEED 1.5%.
- PROPOSED SPOT GRADES:
 - FLOOR ELEVATION SHOWN.
 - BUILDING PERIMETER SIDEWALKS.
 - PARKING PERIMETER CURBING.
 - LANDSCAPED PARKING ISLAND WITH CURBING.
- SITE COMPACTATION AND GRADING:
 - PROVIDE 4" CURB FACE AT ALL SIDEWALKS AT THE PERIMETER OF THE BUILDING.
 - FAMILY DOLLAR STORE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 1'-0" (FOR B1TS) OR 18" (FOR FEE DEVELOPMENT) ABOVE THE ESTABLISHED 10-YEAR FLOOD PLAIN ELEVATION AS DETERMINED BY THE U.S. ARMY CORPS OF ENGINEERS.
 - PROVIDE A RETAINING WALL WHERE GRADE VARIATIONS EXCEED THE 1' TO 1' (HORIZONTAL TO VERTICAL) SLOPE AND/OR THE SOILS INVESTIGATION REPORT RECOMMENDED MAXIMUM SLOPE. COMPLETELY DETAIL ALL RETAINING WALLS.
- GUARD RAIL IS REQUIRED ON ALL RETAINING WALLS WITH A GRADE DIFFERENCE GREATER THAN 2 IN HEIGHT. GUARD RAIL IS TO BE DESIGNED IN ACCORDANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES.
 - PROVIDE SLOPE STABILIZATION ON ALL SITE SLOPES. STABILIZATION MAY BE BY TURF GRASSES, SOD, VEGETATION, GEOTEXTILE FABRICS OR OTHER MEANS AS REQUIRED BY THE DEGREE OF SLOPE AND TYPE OF SOIL TO BE PROTECTED.
 - DESIGN ALL SITE GRADING IN CONFORMANCE WITH BARRIER FREE DESIGN CRITERIA.
- MAXIMUM LAWN SLOPE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
 - ALL NON-PAVED SLOPED AREAS SHALL NOT EXCEED A 2:1 SLOPE UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER. PROVIDE SLOPE STABILIZATION AS REQUIRED.
- SEDIMENT & EROSION CONTROL. PROCEDURES SHOULD BE IMPLEMENTED DURING CONSTRUCTION BASED UPON LOCAL CODES & ORDINANCES. AT A MINIMUM, A STABILIZED ROCK CONSTRUCTION ENTRANCE AND SEDIMENT FENCING AROUND DISTURBED AREAS SHALL BE INSTALLED.
- ANY DISTURBED AREAS THAT WILL NOT BE STABILIZED BY PAVEMENT OR BUILDING BASE COURSES SHALL BE SODED OR SEEDED & MULCHED IMMEDIATELY AFTER ESTABLISHING FINAL GRADES. IF FINAL GRADES WILL NOT BE ACHIEVED WITHIN 31-DAYS, TEMPORARY SEEDING & MULCHING SHALL BE USED TO STABILIZE DISTURBED AREAS.
- ALL BACK FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. BACK FILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIALS, OR OTHER OBJECTIONABLE MATERIAL. BACK FILL MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING. ALL BACK FILL MATERIAL SHALL BE PLACED IN LOOSE 6-IN. LIFTS AND COMPACTED, BY MECHANICAL MEANS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER OR AS LISTED IN NOTE 10.
- ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES SHALL BE COMPACTED TO 98% OF ASTM D698 TO A DEPTH OF 12-IN. AND TO 95% OF ASTM D698 BELOW 12-IN DEPTHS. ALL OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% OF ASTM D698.
- ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES COMPACTIONS SHALL BE INTERMEDIATELY TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS LISTED IN NOTE 10.

UTILITIES

- GENERAL:
 - ALL UTILITIES TO THE FAMILY DOLLAR BUILDING WILL BE SOLELY FOR FAMILY DOLLARS' USE AND WILL NOT BE SHARED (OR SUB-METERED) FOR ANY OTHER

OCCUPANTS IN THE DEVELOPMENT CENTER

- UTILITIES FOR UNOCCUPIED SPACES OR FAMILY DOLLAR STORE SHALL NOT RUN THROUGH OR UNDER THE FAMILY DOLLAR STORE BUILDING PAD.
- UTILITY LOCATIONS:
 - FAMILY DOLLAR STORES SHALL HAVE AN APPROVED SEWER WITH DOMESTIC AND IRRIGATION WATER LINES THAT SERVE FAMILY DOLLAR STORE ONLY.
 - SEWATE METERS ARE REQUIRED FOR GAS, DOMESTIC WATER AND IRRIGATION WATER, AND ELECTRICAL LINES.
 - UTILITY LOCATIONS ARE DICTATED BY THE FAMILY DOLLAR STORES. THE FAMILY DOLLAR STORES ALLOW FOR ALTERNATE LOCATIONS AS DICTATED BY SITE CONDITIONS WITH VARYING IMPACT ON THE STORE LAYOUT AND DESIGN. CONTACT FAMILY DOLLAR FOR APPROVAL PRIOR TO SELECTING A UTILITY LOCATION.
 - SEE FAMILY DOLLAR STORE PREFERRED SITE UTILITY POINTS OF CONNECTION. (FAMILY DOLLAR STANDARD CRITERIA PLAN.)
- EXTEND ALL UTILITIES TO WITHIN 5 FEET OF THE BUILDING AT THE LOCATIONS SHOWN ON THE PLUMBING ELECTRICAL AND UTILITY SITE PLAN.
- PROVIDE A COMPLETE SANITARY SEWER SYSTEM INCLUDING ALL PIPING, MANHOLES, CLEANOUTS, ETC.
 - PROVIDE 4" MINIMUM SANITARY SEWER LEAD OR SIZE AS REQUIRED BY CITY, COUNTY OR STATE ORDINANCES.
 - ALL SANITARY SEWERS SHALL HAVE A POSITIVE GRAVITY OUTFALL. LIFT STATIONS, FORCE MAINS, SEPTIC DISPOSAL FIELDS OR PACKAGE TREATMENT PLANTS SHALL BE USED ONLY WHERE A POSITIVE OUTFALL IS NOT ATTAINABLE, AND SHALL BE APPROVED BY FAMILY DOLLAR STORES, INC. (AS OWNER HEREBY DEFINED ON TITLE SHEET, 1-1) PRIOR TO DESIGN AND SUCH EXCEPTION PACKAGE SHALL BE TOTALLY GUARANTEED AND MAINTAINED BY THE DEVELOPER.
- WATER SERVICE:
 - PROVIDE A COMPLETE WATER DISTRIBUTION SYSTEM TO SERVE BOTH DOMESTIC AND FIRE PROTECTION (IF REQUIRED BY CODE) REQUIREMENTS INCLUDING ALL PIPING, METERS, VALVES, FITS, HYDRANTS, THURST BLOCKS, BACKFLOW PREVENTERS, ETC.
 - 3/4" DOMESTIC SERVICE LINE.
 - ALL FIRE PROTECTION SYSTEMS (IF REQUIRED BY CODE) SHALL BE APPROVED BY THE LOCAL OFFICIALS, AND OR, THE LOCAL FIRE MARSHAL, AND FAMILY DOLLAR STORES, INC.
 - 6" MINIMUM LINE SIZE WITH RESIDUAL PRESSURE WITH SUFFICIENT CAPACITY FOR SPRINKLER SYSTEM WITHOUT WATER PUMP, AS APPROVED BY THE LOCAL OFFICIALS AND THE LOCAL FIRE MARSHAL.
 - PROVIDE WATER SERVICE TO THE IRRIGATION SYSTEM AS REQUIRED WITH SEPARATE METER.
 - FIRE DEPARTMENT CONNECTION (F.D.C. OR SIMASE CONNECTION, IF REQUIRED BY CODE).
 - LOCATE HYDRANT ON SITE (IF REQUIRED BY CODE).
- PROVIDE A COMPLETE GAS DISTRIBUTION SYSTEM (WHERE APPLICABLE) INCLUDING ALL PIPING, METERS, FITS, VALVES, ETC.
 - SHOW GAS METER AND BUILDING LEAD (GAS METER SHOULD NOT BE LOCATED WITHIN ANY PAVED AREA).
- PROVIDE A COMPLETE ELECTRICAL SERVICE SYSTEM INCLUDING ALL POWER POLES, WEATHER HEADS, UNDERGROUND CONDUITS, WIRING, SPICE BOXES, TRANSFORMERS, ETC.
 - SHOW ELECTRICAL TRANSFORMER LOCATION (120/208 VOLT, 3 PHASE, 4 WIRE, 400 AMP SERVICE). (ELECTRIC METER SHOULD NOT BE LOCATED WITHIN ANY PAVED AREA.)
 - PROVIDE ELECTRICAL SERVICE TO ALL RELATED SITE ELEMENTS (PYLON SIGNS, LIFT STATIONS, WIRING, TREATMENT PLANTS, SITE LIGHTING, ETC.), WHERE APPLICABLE.
 - PROVIDE A COMPLETE TELEPHONE SERVICE SYSTEM INCLUDING ALL POLES, UNDERGROUND CONDUITS, PIPING, SPICE BOXES, ETC. DEMARK TO BE MOUNTED TO PHONE BOARD AS SHOWN ON SCHEDULE SHEET M-1.
 - TELEPHONE AND ELECTRIC SERVICE CONDUITS MAY BE PLACED IN COMMON TRENCH, AND BROUGHT TO THE INTERIOR OF SPACE (AS PER ARCHITECTURAL PLANS).
 - PLACE PHONE LINES UNDERGROUND ON ALL SITES. PHONE BOARD LOCATION TO BE DETERMINED BY PLAN.

DRAINAGE

- PROVIDE DETENTION OR RETENTION POND ONLY WHEN REQUIRED BY LOCAL ORDINANCE.
 - PROVIDE A FENCE WITH GATE (ONE 5' GATE MINIMUM FOR MAINTENANCE) AROUND LAWN AREA BASIN.
 - PROVIDE RETENTION POND SIGNAGE - GREEN SIGN WITH WHITE LETTERS 16" X 20" WHICH MUST READ "WARNING - DO NOT ENTER - NO SWIMMING". PLACE SIGNAGE ON FENCING AROUND RETENTION POND 20' APART.
 - NO RETENTION IS ALLOWED ON PAVEMENT AREAS.
- DESIGN ON-SITE STORM SEWER SYSTEM MINIMUM CONFORM LOCAL CODE TO ASSURE ADEQUATE DESIGN.
 - PROVIDE ADEQUATE CATCH BASINS FOR LOCAL CONDITIONS.
 - COLLECT DRAINAGE NO CLOSER THAN 50 FEET FROM STORE FRONT.
 - ALL UNDERGROUND PIPE MATERIAL SHALL BE REINFORCED CONCRETE PIPE OR PLASTIC WITH PROPER SOIL COVER.
- OFF-SITE DRAINAGE SHALL BE COLLECTED AT THE PERIMETER OF PARKING LOT. UNDER NO CIRCUMSTANCES SHALL OFF-SITE DRAINAGE BE PERMITTED TO ENTER PARKING LOT.
 - PROVIDE DIVERSION SWALES OR EDGE DRAINS AT LARGE SLOPES.
 - PROTECT PAVEMENT SUBGRADE FROM SURFACE WATER INFILTRATION.
 - IF TRUCK WELLS BE USED, PROVIDE GRAVITY DISCHARGE FROM TRUCK WELLS.
- SIZE BUILDING ROOF DOWNSPOUT LEADERS & HEADERS FOR 50-YEAR STORM WITH NO HYDRAULIC SURCHARGE IF CONNECTING TO AN UNDERGROUND SYSTEM.
- THE PAVEMENT & BUILDING AREAS SHALL SURFACE DRAIN INTO RETENTION PONDS, STORM INLET STRUCTURES PART OF AN UNDERGROUND STORM SEWER SYSTEM, OR OTHER STORM WATER CONVEYANCE FEATURES, WHICH DIRECT STORM WATER AWAY FROM THE BUILDING AND THE PROPERTY.
- PARKING LOT SURFACE MAY NOT BE USED FOR RETENTION OR OVERFLOW RETENTION IN THE SITE DESIGN CALC.
- SURFACE DRAINAGE SHALL NOT BE DIRECTED TOWARDS BUILDING, USE SWALES OR PIPING TO REDIRECT ALL WATER AWAY FROM EDGE OF BUILDING.
- NO RETENTION PONDS ARE ALLOWED AT THE FRONT OF SITE OR AT THE FRONT FACING PORTION OF THE BUILDING.
- UNDERGROUND DETENTION SYSTEMS ARE ALLOWED BASED UPON LOCAL CODE & ORDINANCE REQUIREMENTS, AS WELL AS SITE CONSTRAINTS. LL SHALL BE RESPONSIBLE FOR MAINTAINING AND INSPECTING UNDERGROUND DETENTION SYSTEMS AS REQUIRED BY LOCAL JURISDICTION.

LANDSCAPE AND IRRIGATION

- GENERAL:
 - DEVELOPER'S LANDSCAPE DESIGN INCLUDES SITE DESIGN AND IRRIGATION.
 - REQUIRED DRAWINGS AND SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION WILL BE SHOWN ON LANDSCAPE CONSULTANT'S DRAWINGS.
 - LOCAL AUTHORITY HAVING JURISDICTION BASES LANDSCAPE DESIGN ON MINIMUM REQUIREMENTS.
 - UTILIZE REUSE WATER FOR IRRIGATION WHERE AVAILABLE. (GRAY WATER).
- LANDSCAPING:
 - NO GENERAL LANDSCAPE AREAS, UNLESS REQUIRED BY CODE. FAMILY DOLLARS FIRST PREFERENCE FOR LANDSCAPING IS FILTER FABRIC AND STONE OR ROCK. IF ALLOWED BY LOCAL CODE, STONE OR ROCK MUST BE 3/4" TO 1" IN SIZE AND THE GROUND COVER MUST BE 2" MINIMUM.
 - PLANTING SHALL NOT OBSTRUCT LINE OF SIGHT AT ENTRANCES AND SITE DRIVES.
 - LANDSCAPING MUST NOT BLOCK VISIBILITY OF SIGNAGE.
 - SITE PERIMETER PLANTING SHALL NOT BE CONCENTRATED AT THE MAIN ENTRANCE AND ALLOW VIEW OF ROAD SIGN AND BUILDING FROM FRONTAGE ROAD.
 - PARKING LOT PLANTINGS SHALL NOT CONFLICT WITH SITE LIGHTING, BUILDING SIGNAGE AND UTILITY LOCATIONS. LANDSCAPE DESIGN TO ALLOW FOR MINIMAL SHRUB GROWTH AS TO NOT OBSTRUCT PILE SIGN VISIBILITY.
 - PARKING LOT ISLAND SHALL HAVE STONE OR ROCK SIZE 1" TO 3" GROUND COVER. NO SOD SHALL BE PERMITTED.
 - IRRIGATION:
 - IF SITE IS REQUIRED TO HAVE LIVE LANDSCAPE PLANTINGS SUCH AS, BUT NOT LIMITED TO, TREES, PLANTS, SOD, ETC., THE SITE MUST BE FULLY IRRIGATED WITH PROPER COVERAGE AND A SEPARATE IRRIGATION METER IS THEREBY REQUIRED.
 - IRRIGATION TO HAVE RAIN GUARD.

CURBING AND WHEEL STOPS

- FDS DOES NOT REQUIRE CURBING UNLESS LOCAL CODES OR SITE CONDITIONS DICTATE. ALL CURBING SHALL BE DEFINED ON THE SITE WORKING DRAWINGS AS TO CURB TYPE AND LOCATION. EXTRUDED CONCRETE CURBING EXPEDITED TO THE PAVEMENT SURFACE IS NOT PERMITTED. ALL PERMANENT CURBING SHALL BE CONCRETE.
- CONCRETE CURB AND GUTTER SHALL BE USED WHERE SURFACE RUNOFF IS DIRECTED TOWARD AND ALONG THE EDGE OF THE PAVEMENT OR ALONG THE PERIMETER OF LANDSCAPED PLANTING BEDS OR TRAFFIC ISLANDS. MINIMUM GUTTER SLOPE SHALL BE 0.5%.
- CONCRETE STANDING CURB OR CONCRETE TO REVERSE GUTTER SHALL BE USED TO RETAIN THE EARTH AT THE BASE OF AN EMBANKMENT OR AN ABRUPT CHANGE IN GRADE OR ALONG THE PERIMETER OF LANDSCAPED PLANTING BEDS OR TRAFFIC ISLANDS.
- PRE-CAST CONCRETE WHEEL STOPS SHALL BE PROVIDED AT EACH PARKING STALL.
 - ALL WHEEL STOPS SHALL BE DOWELED TO PAVEMENT & LOCATED 2 FT. FROM EDGE OF OBSTRUCTION, EDGE OF PAVEMENT, OR FACE OF CURB.
 - SHALL BE USED AS PARKING CONTROL, ALONG THE BUILDING OR RETAINING WALL.
 - PAINT ALL WHEEL STOPS "SAFETY YELLOW", OR AS CODE REQUIRES.
- TEMPORARY ASPHALT CURBING SHALL ONLY BE USED ALONG PAVEMENT EDGES ADJACENT TO FUTURE DEVELOPMENT AREAS.
- CURBING MAY BE OMITTED WHERE PAVING TERMINATES AGAINST OTHER PAVED AREAS.

CURB CUTS AND DRIVE AISLES

- SITE DESIGN SHALL CONFORM TO ONE OF THE APPROVED STANDARD DELIVERY TEMPLATES THAT REQUIRES CONDITIONAL APPROVAL FOR ALL EXCEPTIONS.
- NOTE: PROPER ACCESS FOR FAMILY DOLLARS' 75' LONG FREIGHT TRUCKS IS REQUIRED DURING NORMAL BUSINESS HOURS. THIS INCLUDES A TRUCK PATH THAT IS FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES AND OTHER BARRIERS WHILE MAINTAINING WIDE RADIUS CURVES AT ALL ENTRANCES AND EXITS.
- SHOW LOCATION AND SIZE OF ALL CURB CUTS. PREFER TWO ON PRIMARY ROAD & ONE ON SECONDARY ROAD BUT WILL ACCEPT ONE. PREFER 36" WIDE, ABSOLUTE MINIMUM IS 30". CURB CUTS SHOULD BE SWEEPING OR ROUNDED; NOT SHARP 90 DEGREE TURNS.
- IF A CORNER SITE, ADD CURB CUT NEAR DELIVERY AREA.
- FRONT DRIVEWAY SHOULD BE MINIMUM OF 30' WIDE; PREFER 36'. SIDE DRIVEWAYS WHERE TRUCK BACKS INTO DELIVERY AREA SHOULD BE 36' ALSO, 30' IS ABSOLUTE MINIMUM WIDTH.
- IDENTIFY PROPOSED TRUCK DELIVERY PATH ON SITE PLAN ITSELF.
 - DELIVERY DOOR TO BE AT PARKING LOT GRADE (NO DOCKS ALLOWED).
 - IN ORDER TO ELIMINATE CURBING AND LANDSCAPING AND TO FACILITATE TRUCK MANEUVERABILITY, CERTAIN AREAS ARE INTENTIONALLY STRIPED OUT.
 - TRUCK DRIVE AISLE TO BE MIN. 30'

IMPORTANT TO NOTE: IN ADDITION TO REAL ESTATE AND STORE PLANNING REVIEWING AND APPROVING ALL PROPOSED SITE PLANS, SO DOES FAMILY DOLLARS' TRANSPORTATION DEPARTMENT. IT IS EXTREMELY IMPORTANT THAT ALL CRITERIA LISTED HERE, ESPECIALLY CURB CUTS AND DRIVEWAYS, BE ADHERED TO IN ORDER TO FACILITATE THEIR TIMELY SITE PLAN REVIEW.

EASEMENTS AND ALLEYS

- SHOW LOCATION OF ALL EXISTING AND PROPOSED EASEMENTS, BOTH ON SITE AND OFF-SITE, REQUIRED FOR CUSTOMER INGRESS/EGRESS, DELIVERIES, AND SERVICES.
- SHOW ALL ALLEYS
- DESIGNATE OFF-SITE SIGN EASEMENT AREAS AS WELL AS UTILITY EASEMENTS TO PROVIDE FOR SIGN INSTALLATION AND ELECTRICAL SERVICE.

SITE SIGNAGE

- PROVIDE "HANDICAPPED PARKING" SIGN WITH IDENTIFYING SYMBOL AT DESIGNATED HANDICAPPED PARKING STALLS
- SIGN SHALL BE 12" X 16", .090 ALUMINUM WITH BAKED ENAMEL FINISH. INSTALLED IN BOLLARD, TO CONFORM WITH ADA STANDARDS OR AS REQUIRED BY CODE.
- SIGNS SHALL HAVE WHITE LETTERING ON BLUE BACKGROUND.
- PARKING LOT SIGNS (SUCH AS STOP, RIGHT TURN, LEFT TURN, ONE WAY, ETC.) SHALL BE INSTALLED AS REQUIRED BY LOCAL CODE OR ORDINANCE.

OFF-SITE

- IDENTIFY ALL STREETS, ALLEYS, INGRESS/EGRESS EASEMENTS OR OTHER ACCESS ROUTES BORDERING SITE WITH TRAFFIC PATTERNS.
- SHOW IMPROVEMENTS AND EXISTING TRAFFIC PATTERN ON ANY ADJACENT PROPERTY BEING CONSIDERED FOR CROSS ACCESS.
- IN R.O.W. SHOW WIDTH AND NUMBER OF LANES. INDICATE ANY DECELERATION OR ACCELERATION LANES. SHOW ALL CENTER LINES, MEDIANS, MEDIAN BARRIERS, ETC. AND ACTUAL TURNING MOVEMENTS. THIS IS CRITICAL INFORMATION TO EVALUATE THE DELIVERABLE ROUTE OF A PROPOSED LOCATION BY OUF FLEET OF 75 LONG FREIGHT TRUCKS.

PARKING ILLUMINATION SPECIFICATION - FAMILY DOLLAR STORES

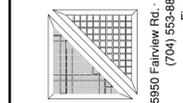
- SYSTEM DESCRIPTION:
 - FURNISH AND INSTALL A COMPLETE SYSTEM INCLUDING CONCRETE BASES, POLES, LUMINAIRES, CONDUIT, WIRING SYSTEM AND COMPLETE CONNECTION.
 - LUMINAIRES SHALL BE ONE OF THE FOLLOWING FOUR (4) TYPES LISTED IN PREFERRED SYSTEMS.
- PREFERRED SYSTEMS:
 - 320 WATT METAL HALIDE, POLE MOUNTED (OR SUPER METAL HALIDE), HORIZONTAL LAMP UNIT SQUARE UNIT SQUARE UNIT WITH TYPE IV WIDE DISTRIBUTION, LUTRONA - KAD 320M R4 TB SCVA SP099 LP)
 - POLE MOUNTED FLOOD 12' AFF ON STRATEGIC POLES TO LIGHT THE FACADE OF THE BUILDING. LUTRONA - TM, 320M R42 TB SCVA IS LP)
 - BUILDING MOUNTED CUT-OFF WALL PACK. TO BE USED ONLY ON ANGLIARY AREAS THAT DO NOT SERVE AS CUSTOMER ENTRANCES OR POINTS OF VIEW FROM MAJOR VENUES. (LSG WP NW UN SM 82)
 - FRONT ENTRANCE TO BE LIT WITH LUTRONA ALX LED 115A 400K/5K SR3 MVOLT D080D)
- NO OTHER SYSTEMS ARE ACCEPTABLE UNLESS REQUESTED AND PRE-APPROVED IN WRITING BY FAMILY DOLLAR STORES OR 100% LIGHTING CONTACT INFO: WWW.JUICE100LIGHTING.COM LIGHTING CONSULTANT FOR FAMILY DOLLAR STORES.
- DESIGN REQUIREMENTS:
 - DESIGN AND LAYOUT LIGHTING SYSTEM IN CONFORMANCE WITH THE FOLLOWING ILLUMINATION PARAMETERS AND POLE/FIXTURE REQUIREMENTS. DEVIATIONS FROM SET: FORTH REQUIREMENTS NECESSITATED BY LOCAL REQUIREMENTS OR EXISTING CONDITIONS REQUIRE APPROVAL PRIOR TO SUBMISSION OF DESIGN. ALL SUBMISSION FOR CHANGE SHALL BE SUBMITTED IN WRITING TO FAMILY DOLLAR STORES.
 - NUMBER OF LUMINAIRES AND POSITIONS:
 - MAIN PARKING AREA OF INFIELD STANDARDS SHALL HAVE TWO (2) LUMINAIRES PER POLE MAXIMUM.

- DRIVE, ROADWAY OR PERIMETER STANDARDS MAY HAVE A SINGLE LUMINARY.
- A SINGLE FLOOD WILL BE USED ON DESIGNATED POLES TO ILLUMINATE THE FACADE
- A STANCHION MOUNT FLOOD SHOULD BE USED IN LIEU OF A WALL PACK IF A BUILDING IS ADJACENT TO A ROADWAY.
- WALL PACKS INDICATED ON WALLS OF THE BUILDING TO PROVIDE SECURITY LIGHTING AT 11' 6" MOUNTING HEIGHT.
- MOUNTING HEIGHTS:
 - PARKING AREA LUMINAIRES MOUNTING HEIGHT SHALL BE NOT MORE THAN 25 FEET.
 - DRIVE OR ROADWAY LUMINAIRES MOUNTING HEIGHT SHALL BE NOT MORE THAN 25 FEET.
 - MOUNTING HEIGHT IS THE DISTANCE FROM LUMINAIRES TO PAVED SURFACE AND INCLUDES BASE HEIGHT, POLE LENGTH, AND ARM SWEEP (IF ANY).
 - FLOODS WILL BE MOUNTED AT A HEIGHT OF 12 FEET UTILIZING THE SAME POLE AS THE AREA LIGHT WHERE REQUIRED.
- DESIGN PARAMETERS:
 - MAINTENANCE FACTOR SHALL BE COMPUTED AS FOLLOWS:
 - LED LAMP SOURCE
 - LAMP LUMEN DEPRECIATION (L70 L80) FOR LED UNLESS OTHERWISE INDICATED BY MANUFACTURER INFORMATION.
 - LUMINAIRE DIRT DEPRECIATION (LDD) 0-90.
 - TOTAL LIGHT LOSS FACTOR (LTF) = 0.63 FOR LED UNLESS OTHERWISE INDICATED BY MANUFACTURER INFORMATION.
 - LUMINAIRES HEIGHT IS PROVIDED TO MEET THE FOLLOWING PARAMETERS IN THIS ORDER OF IMPORTANCE:
 - MINIMUM ILLUMINANCE AT ANY POINT OF THE PAVED SURFACE SHALL BE 1.6 FOOT CANDLES TAKEN AT GRADE.
 - AVERAGE/MINIMUM RATIO SHOULD BE LESS THAN OR EQUAL TO 5 (AVG/MIN = 5:1)
 - MAXIMUM/MINIMUM RATIO SHOULD BE LESS THAN OR EQUAL TO 10 (MAX/MIN = 10:1)

THIS DRAWING IS THE PROPERTY OF BURTON ENGINEERING ASSOCIATES AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

DEVELOPED BY:
THE DURBAN GROUP
BUILDING VALUES

BURTON ENGINEERING ASSOCIATES
LAND PLANNERS
106 FOSTER AVENUE
CHARLOTTE, NC 28203
(704) 319-8347
Firm License # 1557



Seal
1/17/2015

GREENFIELD - FDS
1313 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA
FAMILY DOLLAR CRITERIA

Project Sheet Title

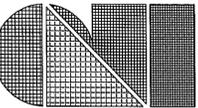
CTB
Engineer
LJB
Drawn By
9/21/15
Date

Revisions
1: 11/10/15 PER TRC & CPJIA COMMENTS

Project Number
487-064

C8.8
Sheet 21 of 21

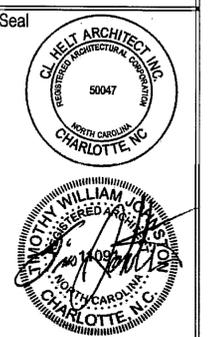
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



C.L. Helt, Architect Inc.
 1136 Greenwood Cliff
 Charlotte, NC 28204
 Ph. 704-342-1686
 Fx. 704-343-0054
 E-MAIL INFO@CLHELT.COM

ARCHITECT'S PROJECT # 14222
Project: FAMILY DOLLAR FOR THE DURBAN GROUP
 GREENFIELD STREET & S 13TH STREET WILMINGTON, NC
 DESIGN BASED ON 2014-01 FD PROTOTYPE

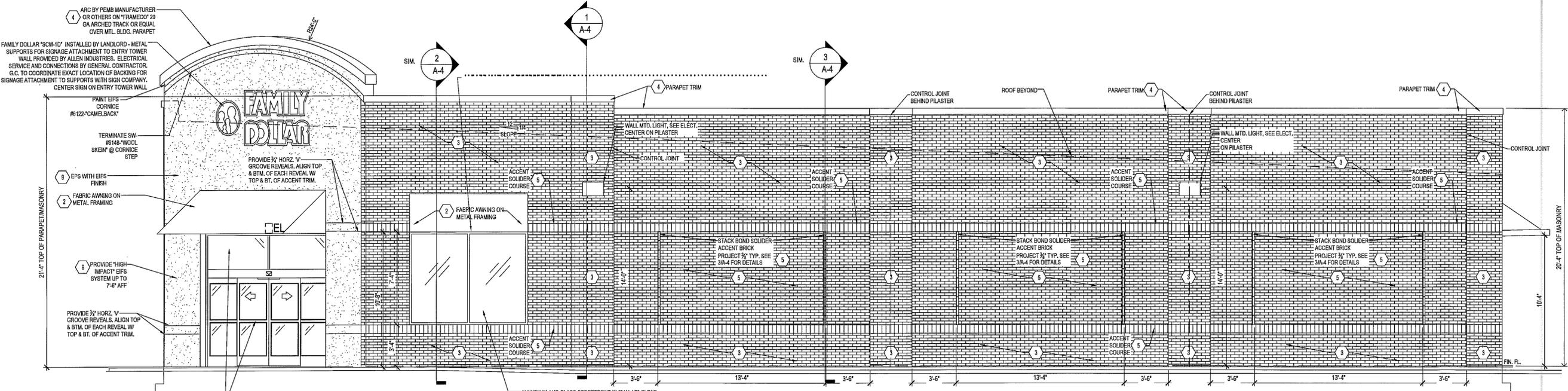
Sheet Description: ELEVATIONS / EXTERIOR FINISH SCHEDULE & NOTES
 RISK CLASS 3 STORE



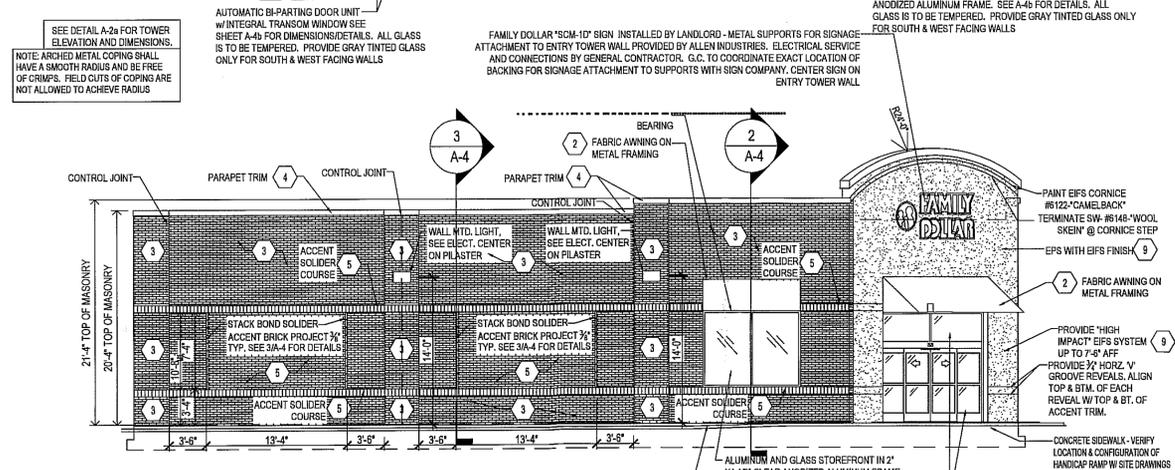
THIS DRAWING AND ITS COPIES ARE THE COPYRIGHT OF THE ARCHITECT. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF C. L. HELT ARCHITECT INC., AND OR TIMOTHY JOHNSTON, ARCHITECT

Drawn By: M. BENITEZ
 Checked By: D. MYERS

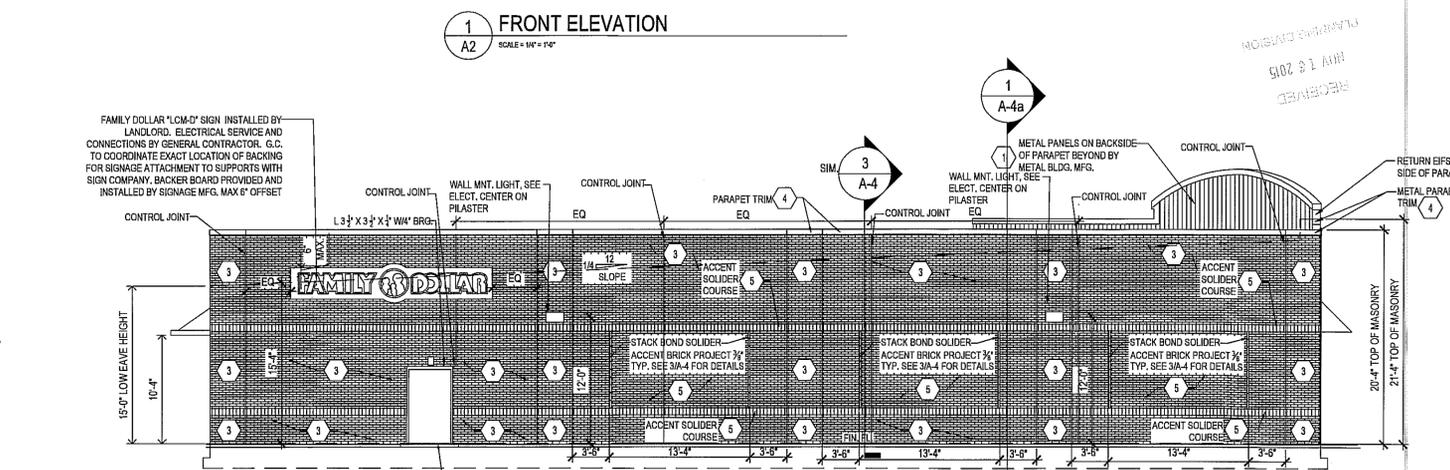
Revisions:
 Date: 8-06-2015
 Sheet No.



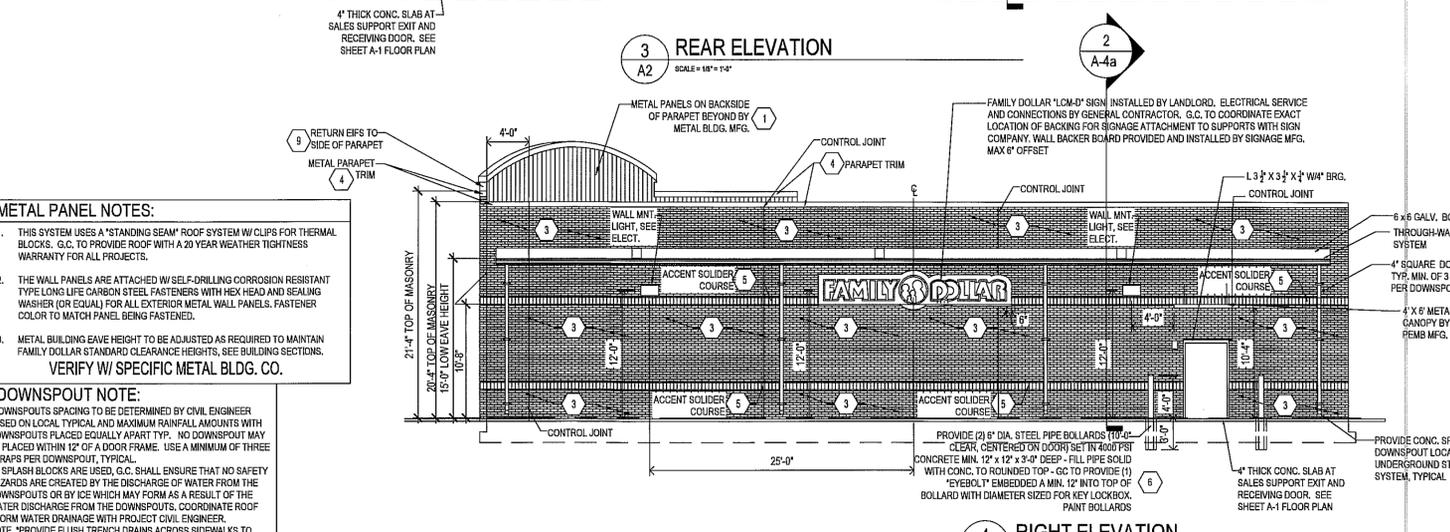
1 FRONT ELEVATION
 SCALE = 1/8" = 1'-0"



2 LEFT ELEVATION
 SCALE = 1/8" = 1'-0"



3 REAR ELEVATION
 SCALE = 1/8" = 1'-0"



4 RIGHT ELEVATION
 SCALE = 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIALS ARE TO BE APPROVED BY FAMILY DOLLAR STORE. COLORS ARE CRITICAL AND MUST BE APPROVED BY FAMILY DOLLAR STORE REPRESENTATIVE IF THEY DIFFER FROM THE SHERWIN WILLIAMS COLORS SHOWN BELOW.

NO.	AREA	TYPE	COATS	COLOR / REMARKS
1	METAL WALL PANELS (SEE DETAILS ON SHEET A-4)	MID-WEST - PBA PANEL NUCOR - ACCENT PANEL VP - VEE RIB PANEL	PRE-FINISHED	MID-WEST COLOR "SADDLE TAN" NUCOR COLOR "SAGEBRUSH TAN" VP COLOR "TAN" SHERWIN WILLIAMS MATCHING COLOR SW 6122 "CAMELBACK"
2	AWNING	FABRIC ON ALUMINUM FRAME - FABRIC ON TOP & SIDES ONLY	PRE-FINISHED	-FABRIC BY TRIVANTAGE - PRODUCT: NITE-LITE #2603 - COLOR RED -METAL FRAME BY OTHERS
3	BRICK	TBD	PRE-FINISHED	TO BE SELECTED BY OWNER AND APPROVED BY FAMILY DOLLAR
4	DOORS, GUTTERS, DOWNSPOUTS, MTL. TRIM	BY METAL BUILDING MANUFACTURER - SEE DETAILS ON A-4	PRE-FINISHED	MID-WEST COLOR "SADDLE TAN" NUCOR COLOR "SAGEBRUSH TAN" VP COLOR "TAN" SHERWIN WILLIAMS MATCHING COLOR SW 6122 "CAMELBACK"
5	ACCENT BRICK SOLIDER COURSE, BRICK ROWLOCK	TBD	PRE-FINISHED	TO BE SELECTED BY OWNER AND APPROVED BY FAMILY DOLLAR
5a	NOT USED			
6	STEEL BOLLARDS	EXTERIOR LATEX	2	MATCH SHERWIN WILLIAMS SW 4081 "SAFETY RED"
7	NOT USED			
8	GLAZING	ICD HIGH PERFORMANCE COATING	PRE-FINISHED	OPAC-COAT 300 Color 3-0586 MEDIUM GRAY
9	2" EPS W/ EIFS FINISH	SEE DETAILS ON A-4 & A-4d	2	-COLOR TO MATCH SW 6148 "WOOL SKEIN" -INSTALL EPS ON REVERSE "PBR" METAL PANELS. REFER TO DETAILS ON SHEET A-4b. -INSTALL PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. -PROVIDE HIGH IMPACT EIFS TO 7'-6" A.F.F.

EXTERIOR FINISH NOTES:
 1- IF METAL BUILDING IS USED, G.C. TO SUBMIT MANUFACTURER'S STANDARD COLORS TO FAMILY DOLLAR FOR APPROVAL.
 2- G.C. OR PAINT CONTRACTOR MUST NOTIFY LOCAL SHERWIN WILLIAMS DEALER THAT PAINT IS BEING PURCHASED FOR A FAMILY DOLLAR STORE AND PROVIDE SHERWIN WILLIAMS DEALER WITH STORE LOCATION.
 GC TO PROVIDE KEY BOX FOR LOCK ACCESS DURING PUNCHOUT AND TURNOVER. COMBINATION TO MATCH LAST FOUR DIGITS OF STORE NUMBER.
 FEE DEVELOPMENT PROJECTS: INSTALLATION OF ROAD AND BUILDING SIGN MUST BE INCLUDED IN GENERAL CONTRACTORS BID AND SCOPE OF WORK.

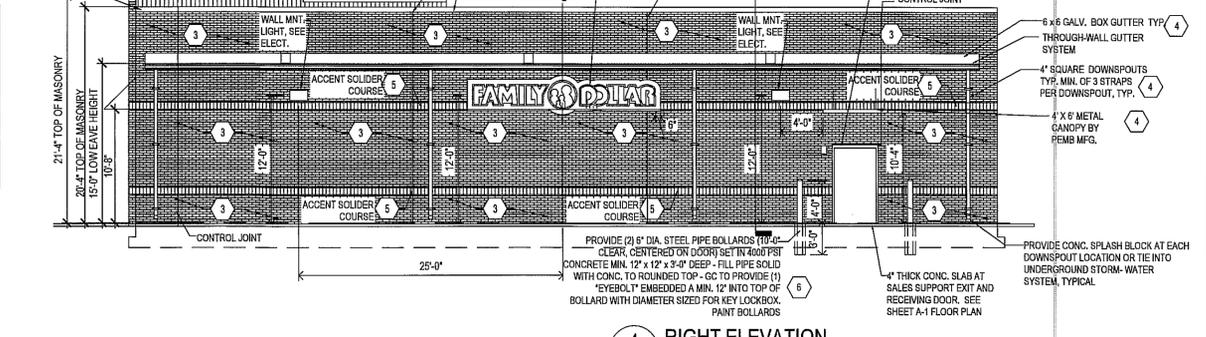
METAL PANEL NOTES:
 1. THIS SYSTEM USES A "STANDING SEAM" ROOF SYSTEM W/ CLIPS FOR THERMAL BLOCKS. G.C. TO PROVIDE ROOF WITH A 20 YEAR WEATHER TIGHTNESS WARRANTY FOR ALL PROJECTS.
 2. THE WALL PANELS ARE ATTACHED W/ SELF-DRILLING CORROSION RESISTANT TYPE LONG LIFE CARBON STEEL FASTENERS WITH HEX HEAD AND SEALING WASHER (OR EQUAL) FOR ALL EXTERIOR METAL WALL PANELS. FASTENER COLOR TO MATCH PANEL BEING FASTENED.
 3. METAL BUILDING EAVE HEIGHT TO BE ADJUSTED AS REQUIRED TO MAINTAIN FAMILY DOLLAR STANDARD CLEARANCE HEIGHTS. SEE BUILDING SECTIONS. VERIFY W/ SPECIFIC METAL BLDG. CO.

DOWNSPOUT NOTE:
 DOWNSPOUTS SPACING TO BE DETERMINED BY CIVIL ENGINEER BASED ON LOCAL TYPICAL AND MAXIMUM RAINFALL AMOUNTS WITH DOWNSPOUTS PLACED EQUALLY APART TYP. NO DOWNSPOUT MAY BE PLACED WITHIN 12" OF A DOOR FRAME. USE A MINIMUM OF THREE STRAPS PER DOWNSPOUT, TYPICAL.
 IF SPLASH BLOCKS ARE USED, G.C. SHALL ENSURE THAT NO SAFETY HAZARDS ARE CREATED BY THE DISCHARGE OF WATER FROM THE DOWNSPOUTS OR BY ICE WHICH MAY FORM AS A RESULT OF THE WATER DISCHARGE FROM THE DOWNSPOUTS. COORDINATE ROOF STORM WATER DRAINAGE WITH PROJECT CIVIL ENGINEER.
 NOTE: *PROVIDE FLUSH TRENCH DRAINS ACROSS SIDEWALKS TO PARKING AREAS IF DOWNSPOUTS DO NOT TIE TO UNDERGROUND STORM SYSTEM.

DOWNSPOUT NOTE:
 DOWNSPOUTS SPACING TO BE DETERMINED BY CIVIL ENGINEER, BASED ON LOCAL TYPICAL AND MAXIMUM RAINFALL AMOUNTS, WITH DOWNSPOUTS PLACED EQUALLY APART TYP. NO DOWNSPOUT MAY BE PLACED WITHIN 12" OF A DOOR FRAME. USE A MINIMUM OF THREE STRAPS PER DOWNSPOUT, TYPICAL.

GENERAL EXTERIOR NOTE:
 PROVIDE SLEEVE, BOOT, OR OTHER APPROPRIATE PENETRATION MATERIAL FOR A CLEAN TRANSITION FROM EXTERIOR TO INTERIOR FOR ALL CONDUIT WIRE, PIPE ETC. OWNER MUST APPROVE METHOD AND FINISH BEFORE BUILDING COMPLETION.

STOREFRONT FRAMING & GLAZING NOTE:
 GENERAL CONTRACTOR SHALL VERIFY AND COMPLY WITH ANY GOVERNING REQUIREMENTS FOR IMPACTED RATED STOREFRONT SYSTEMS.
 -THERMALLY BROKEN SYSTEM AS REQ. PER IECC
 -PROVIDE GRAY TINTED GLASS FOR SOUTH AND WEST FACING STOREFRONTS.
 -G.C. SHALL VERIFY AND COMPLY WITH ANY GOVERNING REQUIREMENTS FOR IMPACTED RATED GLAZING AND/OR STOREFRONT FRAMING. ALL EXTERIOR GLASS IS TO BE TEMPERED.
 -GLAZING UNITS SHALL HAVE A MINIMUM 1" OVERALL THICKNESS
 -GLAZING INTERSPACE CONTENT SHALL BE AIR
 -PROVIDE POLYETHYLENE LOW-COATING ON SURFACE NUMBER 2 (60 W/ GRAY TINTED GLAZING)
 -MINIMUM GLAZING VALUES ARE:
 TRANSMITTANCE - 86% FOR CLEAR (16% FOR GRAY TINTED)
 U-VALUE - 0.29 FOR CLEAR
 SHADING COEFFICIENT - 0.39 FOR CLEAR (25 FOR GRAY TINTED)
 LIGHT TO SOLAR GAIN - 1.8 FOR CLEAR (1.3 FOR GRAY TINTED)



METAL TRIM NOTES:
 ALL METAL TRIM TO BE FURNISHED BY METAL BUILDING VENDOR.

ELEVATION DESIGN NOTE:
 NON-STANDARD ELEVATIONS OR OTHER DEVIATIONS FROM THE PROTOTYPE DESIGN SHALL BE SUBMITTED TO AND APPROVED BY FDS PRIOR TO SUBMITTING FOR LOCAL JURISDICTION APPROVAL.

SIGNAGE NOTE:
 GENERAL CONTRACTOR SHALL INSTALL SIGNAGE
 FAMILY DOLLAR STORE SIGNAGE VENDOR SHALL FURNISH SIGNAGE AND METAL SUPPORTS AS REQUIRED FOR SIGNAGE INSTALLATION. GENERAL CONTRACTOR SHALL COORDINATE INSTALLATION AND BACKING FOR METAL SUPPORTS.
 GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE AND CONNECTIONS FOR SIGNAGE. VERIFY ELECTRICAL DEMAND OF SIGNAGE WITH FAMILY DOLLAR SIGNAGE PROVIDER & ELECTRICAL DRAWINGS.
 COORDINATE ACCESS PANEL LOCATION FOR SIGNAGE MOUNTED ON SIDES OR REAR OF BUILDING FAMILY DOLLAR STORE.
SECONDARY SIGNAGE NOTE
 -SEE ELEVATIONS FOR LOCATION OF WALL MOUNTED LIGHT FIXTURES IF SECONDARY SIGNAGE IS PROVIDED.
 -CONFIRM MOUNTING LOCATIONS OF SECONDARY SIGNAGE WITH FAMILY DOLLAR PROJECT MANAGER & SIGNAGE PROVIDER.

REVISIONS:
 "REVIEWED"
 "DISAPPROVED - RESUBMIT"

All Site and Building Plan Requirements, including but not limited to, all Interior Dimensions, Materials, Hardware, Equipment & Specifications, are to be designed and built per the Family Dollar Prototype Plan # _____ as indicated in the lease, unless a deviation is approved by Family Dollar's Plan Reviewer, next to each specific deviation. The initials indicate approval of only the one deviation being initiated. Any deviation from designated Prototype Plan that is not initiated by Family Dollar is disapproved and void.

(Approval to plan deviation will be indicated with the following circled initials: _____)



C.L. Helf, Architect Inc.
1136 Greenwood Cliff
Charlotte, NC 28204
Ph: 704-342-1686
Fx: 704-343-0054
E-MAIL: INFO@CLHFLT.COM

ARCHITECTS PROJECT # 14222
Project :
FAMILY DOLLAR
FOR
THE DURBAN GROUP
GREENFIELD STREET & S 13TH STREET
WILMINGTON, NC
DESIGN BASED ON 2014-01 FD PROTOTYPE

Sheet Description :
ELECTRICAL SITE LIGHTING PLAN
RISK CLASS 3 STORE

ENGINEER OF RECORD:
J. CORRETT THOMASON, P.E.
2120 DILWORTH RD EAST
CHARLOTTE, NC 28203
PH (704) 877-5752
CORRETT@CORRETTTHOMASON.COM
Seal

Drawn By :
C. THOMASON
Checked By :
C. THOMASON
Revisions :
Date :
8-06-2015
Sheet No.
ES-1

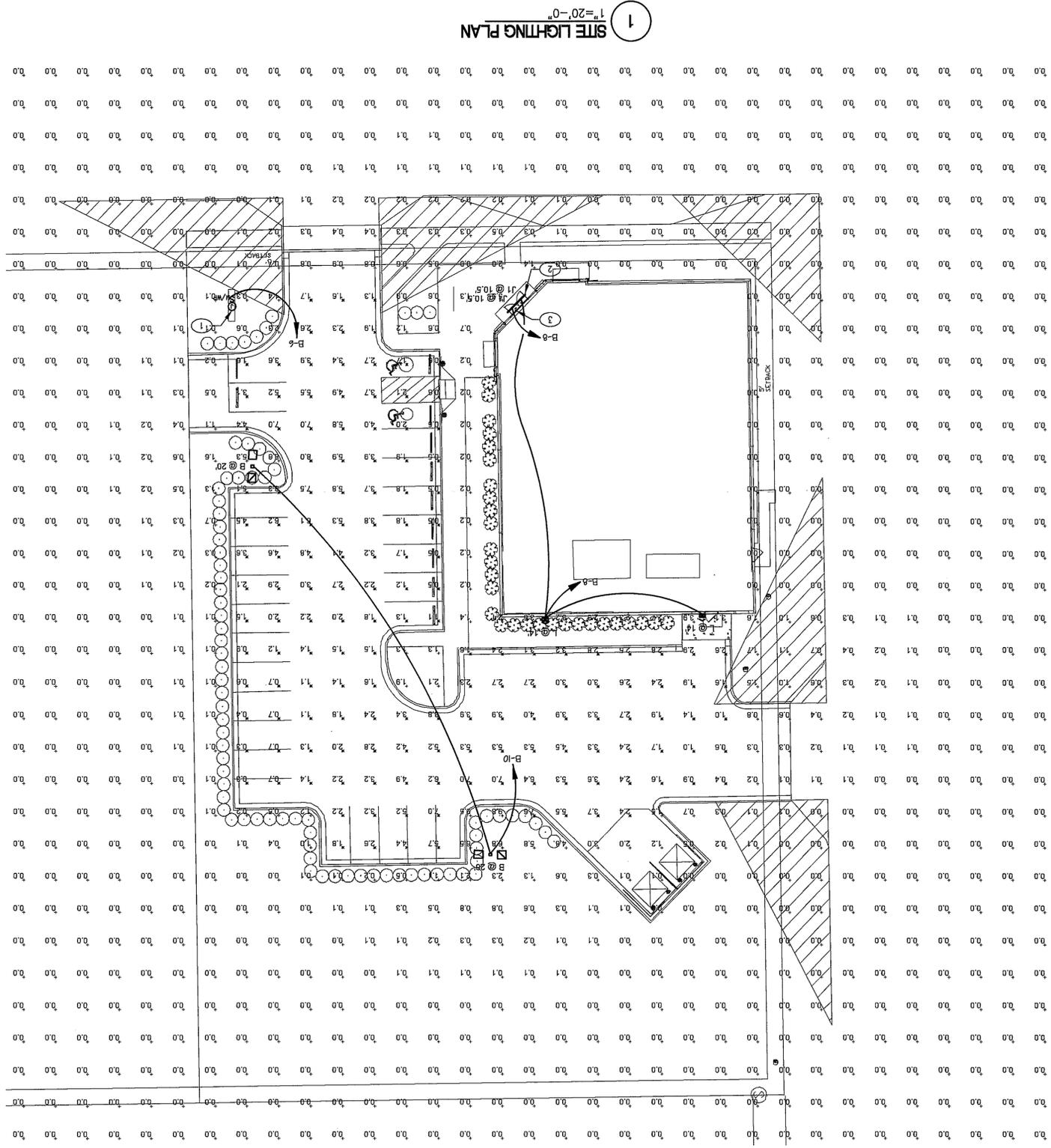
No.	Label	X	Y	Z	MH	Orientation	TR	X	Y	Z
1	B	124.21	221.90	20.00	98.58					
2	B	188.86	101.17	20.00	181.91					
1	J1	117.41	51.78	10.50	48.57					
2	J1	114.84	48.01	10.50	48.57					
1	L	57.74	147.82	14.00	14.00					
2	L	108.89	148.70	14.00	14.00					

Statistics		Description		Symbol		Avg		Max		Min		Max/Min		Avg/Min	
		X	3.0 fc	8.3 fc	0.3 fc	22.7:1	10.0:1								
		+	0.8 fc	8.8 fc	0.0 fc	N/A	N/A								

Note
1. Readings shown are based on a total LLF as shown at grade.
2. Please refer to the "luminaire locations" table for mounting heights.
3. Product information can be obtained at www.lithonia.com or through SL Bagby.
4. Product must be Acuity Brands/Lithonia Lighting and all pricing must originate from National accounts program at SL Bagby in Charlotte, NC Phone 704.334.2821.

Symbol	Label	Qty	Comb. Number	Description	Num. of Lamps	Lamp Wattage	LLF	Wattage
⊗	L	2	DSX1 LED 20C	DSX1 LED WITH 2 LIGHT DIMMERS, 4000K LED, TYPE 3 MEDIUM OPTIC	1	583.01	0.95	75
B-0	B	2	DSX1 LED 80C	DSX1 LED WITH 80 LED LIGHT ENGINE, RIGHT ROTARYTYPE T4M OPTIC, 4000K, @ 1000MA WITH HOUSE SIDE SHIELD	1	14016.0	0.95	417.82
B-0	B	2	DSX1 LED 80C	DSX1 LED WITH 80 LED LIGHT ENGINE, LEFT ROTARYTYPE T4M OPTIC, 4000K, @ 1000MA WITH HOUSE SIDE SHIELD	1	14016.0	0.95	208.88
B-0	B	1	4" WET LOCATION STRIPLIGHT, CLEAR PSEGMATIC POLYCARBONATE LENS, 4000K		1	1830.86	0.95	23.7

Approval to plan deviation will be indicated with the following circled initials: _____
 "REVIEWED"
 "DISAPPROVED - RESUBMIT"
 All Site and Building Plan Requirements, including but limited to, all Interior Dimensions, Members, Hardware, Equipment & Specifications, are to be designed and built per the Family Dollar Prototype Plan # 2014-01 as indicated in the bases, unless a deviation is approved by Family Dollar's Plan Reviewer, next to each specific deviation. The initials indicate approval only if the one deviation being indicated. Any deviation from designated Prototype Plan that is not indicated by Family Dollar is disapproved and void.



GENERAL NOTE:
ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY VENSTAR SYSTEM EXCEPT AS NOTED BELOW.
 1 ELECTRICAL CONTRACTOR SHALL PROVIDE A WEATHERPROOF JUNCTION BOX FOR LIGHTED ROAD SIGN, MOUNT TO SIGN POST OR POLE. ELECTRICAL CONTRACTOR SHALL RUN WIRE IN CONDUIT AS SPECIFIED ON PLANS TO SIGN. FINAL CONNECTIONS SHALL BE MADE BY THE ELECTRICAL CONTRACTOR. SIGN CIRCUIT TO BE CONTROLLED BY PHOTOCELL AND THELOCK (VIA VENSTAR SYSTEM). E/C/C SHALL VERIFY ROAD SIGN ELECTRICAL REQUIREMENTS AND ACTUAL LOCATION. WITH PDS PROJECT MANAGER PRIOR TO BEGINNING CONSTRUCTION.
 2 PROVIDE CONNECTION TO STRIP LIGHT FIXTURES, MOUNTED TO WALL FACE, COORDINATE MOUNTING HEIGHT WITH ARCHITECTURAL ELEVATIONS. STRIP FIXTURES ARE MOUNTED TO BUILDING FACADE UNDER AWNING, COORDINATE FINAL MOUNTING LOCATION WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN.
 3 NIGHT LIGHT. THIS LIGHT FIXTURE ONLY SHALL BE CONTROLLED BY SEPARATE PHOTOCELL BY EC (ON AT DUSK, OFF AT DAWN). WIRE VIA PHOTOCELL TO HOT LEG OF NEAREST EXTERIOR LIGHTING CIRCUIT AHEAD OF ANY SWITCHING INCLUDING PHOTOCELLS. THIS LIGHT SHALL REMAIN ON ALL NIGHT AFTER ALL OTHER EXTERIOR LIGHTS ARE TURNED OFF. (NOTE: THIS FIXTURE IS NOT CONTROLLED BY VENSTAR SYSTEM.)

SITE LIGHTING TAGGED NOTES: