

SITE DATA
 PROJECT NAME: GOOD SHEPHERD CENTER
 SITE ADDRESS: 2144 W. LAKE SHORE DRIVE
 NHC PIN: R06013-018-008-000
 PROPERTY OWNER: CITY OF WILMINGTON
 SOURCE DEED: DEED BOOK 5677, PAGE 2543
 AREA: 195,790.2 SF OR 4.26± ACRES
 ZONING: MFL (CD)
 PROPOSED USE: MULTI-FAMILY
 CAMA LAND USE: URBAN
 EXISTING EASEMENTS: NONE KNOWN

DIMENSION REQUIREMENTS

SETBACKS:	REQUIRED	PROVIDED
FRONT	N/A*	30'
SIDE	N/A*	13.5'
REAR	20'	110.1'
	8.5'	69.3'

*PER SECTION 18-184(g)(12), FRONT AND CORNER SIDE SETBACKS DO NOT APPLY AS LONG AS THE FOLLOWING CRITERIA ARE MET:
 1. THE STREET IS NOT ZONED R-20, R-15, R-7, R-5, OR R-3
 2. BUILDINGS MUST HAVE AN ENTRANCE FROM THE SIDEWALK
 3. HVAC EQUIPMENT, AIR CONDITIONING WINDOW UNITS, ELECTRICAL EQUIPMENT, FIRE ESCAPES, SOLID WASTE FACILITIES, AND OTHER UTILITY EQUIPMENT SHALL NOT BE LOCATED ALONG FACADES WITH STREET FRONTAGE
 4. ARCHITECTURAL FEATURES, INCLUDING FENESTRATION, MATERIAL CHANGES OR OTHER DESIGN FEATURES MUST BE PROVIDED ALONG THE STREET SUCH THAT BLANK WALL SPACE DOES NOT EXCEED FIFTEEN (15) FEET IN LENGTH

BUILDING INFORMATION
 PHASE I: (1) 16-UNIT APARTMENT BUILDING (16,704 SF) [1 STORY]
 PHASE II: (6) 4-UNIT APARTMENTS BUILDING (2,853 SF EACH) [1 STORY]
 TOTAL BUILDINGS: 7 (40 1-BR UNITS; 33,821 SF)
 BUILDING COVERAGE: 18.2%
 CONSTRUCTION TYPE: V-A (16 UNIT BUILDING) & V-B (4-UNIT BUILDINGS)

PARKING INFORMATION
 PARKING: 1 SPACE PER BEDROOM = 40 * 1 = 40 SPACES
 PROVIDED: 49 SPACES
 HC SPACES REQ'D: 2 SPACES
 HC SPACES PROVIDED: 8 SPACES

IMPERVIOUS CALCULATIONS

EX. PAVEMENT/CONC.	PERCENT
PROPOSED BUILDING	33,821 SF
PROPOSED PAVEMENT	28,381 SF
PROPOSED SIDEWALK	7,575 SF
PROPOSED TOTAL	69,777 SF* (37.6%)
NET INCREASE	31,140 SF

*PER THE CITY OF WILMINGTON ENGINEERING PLAN REVIEW CHECKLIST, A MAXIMUM OF 2,500 SF OF BUA CAN DRAIN OFFSITE WITHOUT BMP TREATMENT. 2,400 SF OF THE IMPERVIOUS AREA LISTED IN THE TABLE ABOVE WILL DRAIN OFFSITE. THIS WILL INCLUDE THE SIDEWALK CONNECTIONS BETWEEN THE 4-UNIT BUILDINGS AND THE PUBLIC RIGHT OF WAY, AND A PORTION OF THE SOUTHERN DRIVEWAY.

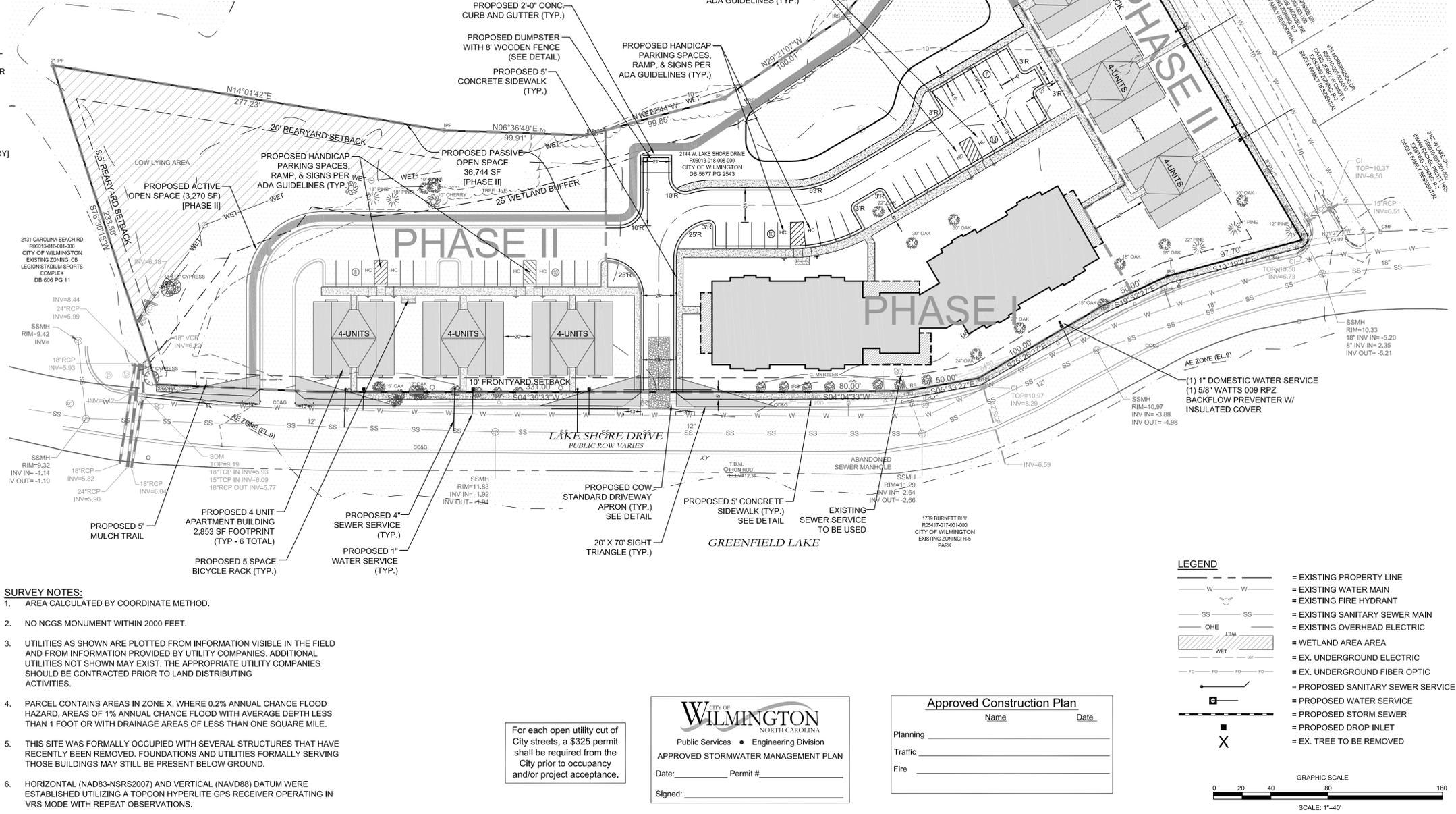
TREE PRESERVATION NOTES:
 1. TREE PRESERVATION / REMOVAL PERMIT IS REQUIRED PRIOR TO CLEARING & LAND DISTURBANCE.
 2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 3. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.

FIRE & LIFE SAFETY NOTES:
 1. CONSTRUCTION TYPE (16 UNIT BUILDING): V-A
 CONSTRUCTION TYPE (4-UNIT BUILDINGS): V-B
 2. ALL BUILDINGS WILL BE SPRINKLED.

UTILITY NOTES:
 1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
 2. SOLID WASTE DISPOSAL WILL BE HANDLED BY A DUMPSTER.
 3. HVAC UNITS WILL BE PLACED ON THE ROOF.

- CD-6-1214 CONDITIONS:**
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL, AND ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
 - APPROVAL OF THIS REZONING REQUEST DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL OF THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
 - IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING CLASSIFICATION.
 - THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PLAN AS SUBMITTED ON 11/20/14 AND AS SPECIFIED IN THE LBA AS AMENDED AUGUST 14, 2014. THE PERMITTED USE SHALL BE RESTRICTED TO A 16-UNIT CONGREGATE FACILITY, INCLUDING A COMMON SPACE, AND SIX 1-STORY QUADRAPLEXES FOR A MAXIMUM OF 40 MULTI-FAMILY RESIDENTIAL UNITS WITH NO MORE THAN 40 BEDROOMS.
 - THE APPLICANT SHALL MAKE ALL REASONABLE EFFORT TO SHIFT THE EASTERN WING OF THE 16-UNIT CONGREGATE BUILDING SUCH THAT THE SIX (6) TREES PROPOSED FOR REMOVAL IN THAT AREA MAY BE PRESERVED.
 - INGRESS AND EGRESS TO THE SITE SHALL BE PROVIDED BY TWO 2-WAY DRIVEWAYS FROM WEST LAKE SHORE DRIVE.
 - ALL EXISTING PROTECTED TREES NOT IMPACTED BY ESSENTIAL SITE IMPROVEMENTS SHALL BE PRESERVED OR MITIGATED.
 - A 5-FOOT WIDE SIDEWALK SHALL BE PROVIDED ALONG THE DEVELOPMENT'S FRONTAGE ALONG WEST LAKE SHORE DRIVE AND STADIUM DRIVE.
 - A MINIMUM OF 5 BICYCLE PARKING SPACES SHALL BE PROVIDED ON THE SITE.
 - EXTERIOR SITE LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE DIRECTLY ON ADJACENT RESIDENTIAL PARCELS.
 - ANY FREESTANDING SIGN(S) ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN; NO POLE SIGNS SHALL BE PERMITTED AND INTERNAL ILLUMINATION SHALL BE PROHIBITED.
 - THE USE OF PINE STRAW AS GROUND COVER SHALL BE PROHIBITED WITHIN TEN (10) FEET OF ANY COMBUSTIBLE EXTERIOR CONSTRUCTION.
 - BUILDING FACADES ORIENTED TOWARDS THE RIGHT-OF-WAY MUST HAVE AN ENTRANCE FROM THE SIDEWALK.
 - ARCHITECTURAL FEATURES, INCLUDING FENESTRATION, MATERIAL CHANGES, OR OTHER DESIGN FEATURES, MUST BE PROVIDED ALONG ALL ELEVATIONS FRONTING ON A RIGHT-OF-WAY SUCH THAT BLANK WALL SPACE DOES NOT EXCEED 15 FEET IN LENGTH.
 - HVAC EQUIPMENT, AIR CONDITIONING WINDOW UNITS, ELECTRICAL EQUIPMENT, FIRE ESCAPES, SOLID WASTE FACILITIES AND OTHER UTILITY EQUIPMENT SHALL NOT BE LOCATED ALONG FACES WITH STREET FRONTAGE.
 - TREE PROTECTION FENCING SHALL BE INSTALLED ALONG ALL PROTECTED TREES WITH SIGNAGE OF NO MATERIAL STORAGE IN ENGLISH AND SPANISH THROUGHOUT CONSTRUCTION
 - ALL APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS MUST BE FOLLOWED.

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT PRIOR TO THE RECORDING OF THE FINAL PLAN.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.



LEGEND

- W — W — = EXISTING PROPERTY LINE
- SS — SS — = EXISTING WATER MAIN
- OHE — OHE — = EXISTING FIRE HYDRANT
- SS — SS — = EXISTING SANITARY SEWER MAIN
- OHE — OHE — = EXISTING OVERHEAD ELECTRIC
- WET = WETLAND AREA
- FO — FO — FO — FO — = EX. UNDERGROUND ELECTRIC
- FO — FO — FO — FO — = EX. UNDERGROUND FIBER OPTIC
- SS — SS — SS — SS — = PROPOSED SANITARY SEWER SERVICE
- SS — SS — SS — SS — = PROPOSED WATER SERVICE
- SS — SS — SS — SS — = PROPOSED STORM SEWER
- SS — SS — SS — SS — = PROPOSED DROP INLET
- X — X — X — X — = EX. TREE TO BE REMOVED

GRAPHIC SCALE
 0 20 40 80 160
 SCALE: 1"=40'

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED STORMWATER MANAGEMENT PLAN

City of Wilmington
 Public Services • Engineering Division

Date: _____ Permit #: _____
 Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:
 LAKESIDE PARTNERS OF WILMINGTON, INC.
 811 MARTIN STREET
 WILMINGTON, NC 28401

PARAMOUNT ENGINEERING
 5011 Olander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

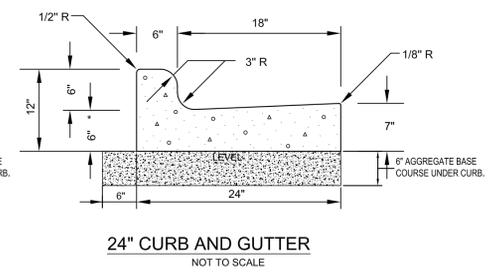
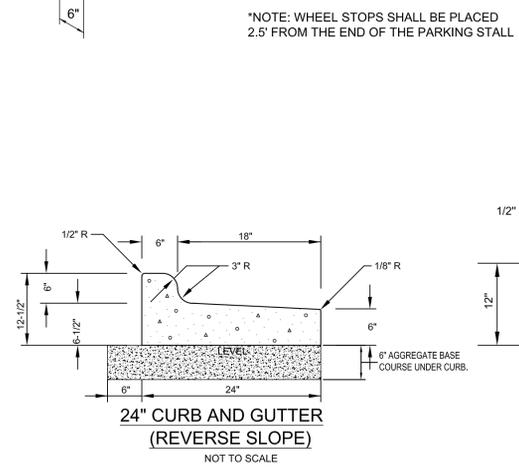
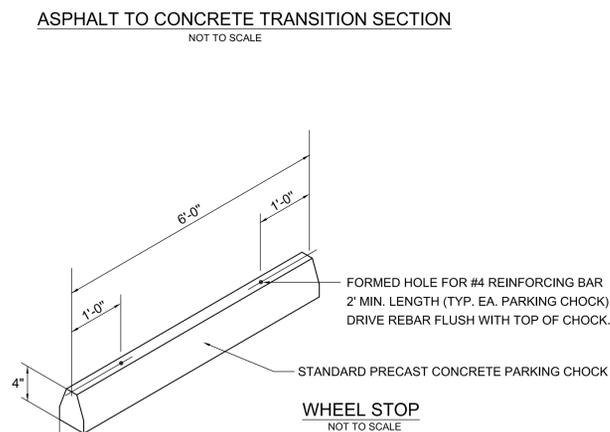
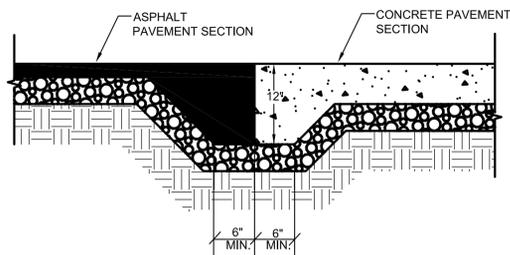
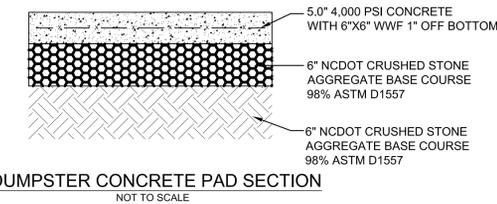
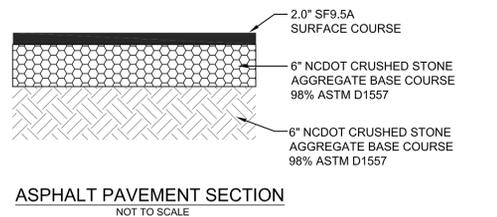
SITE PLAN
 LAKESIDE RESERVE
 CITY OF WILMINGTON
 NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 FINAL DESIGN LAYOUT: _____
 RELEASED FOR CONST: _____

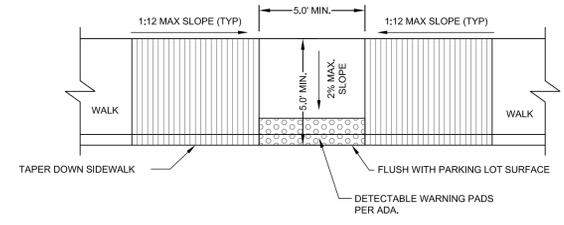
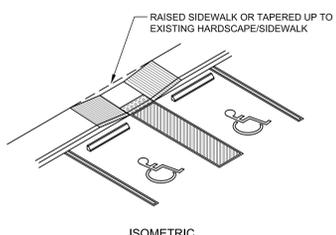
DRAWING INFORMATION:
 DATE: _____
 SCALE: _____
 DESIGNED: _____
 CHECKED: _____

SEAL:
 NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL 033354
 ENGINEER
 WILMINGTON, NORTH CAROLINA
 12/4/15

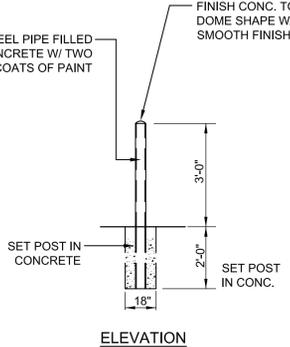
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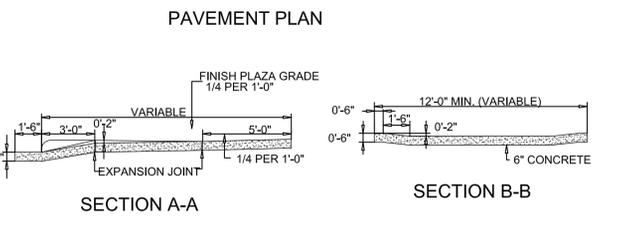
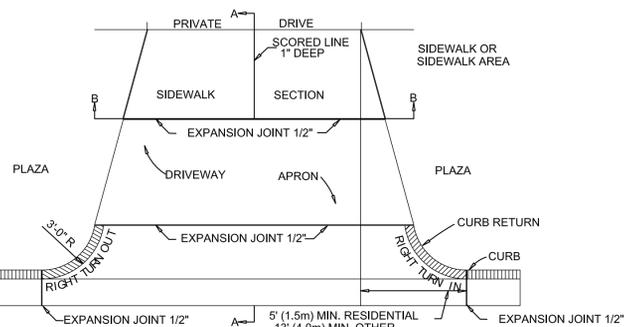
GENERAL NOTES:
CONTRACTION JOINTS SHALL BE SPACED AT MAX. 10' INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED. ALL CONTRACTION JOINTS EXCEPT IN 8" X 6" MEDIAN CURB SHALL BE FILLED WITH JOINT SEALER. EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



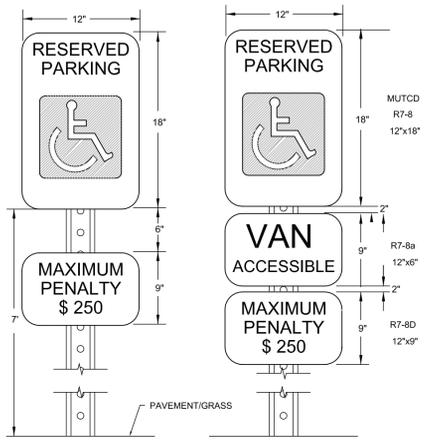
HANDICAP CURB ACCESS
NOT TO SCALE



PIPE BOLLARD DETAIL
NOT TO SCALE

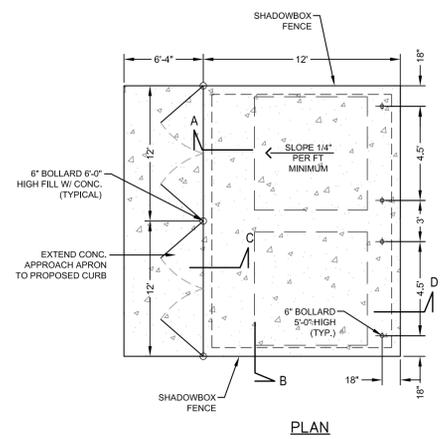


STANDARD DRIVEWAY DETAIL
SD 8-02
NOT TO SCALE



- NOTES:**
- METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL, ASTM A307-80.
 - POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3-INCH TO 4-INCH LIFTS. THOROUGHLY HAND TAMP EACH LIFT AND CROWN BACKFILL AT TOP TO SHED WATER.
 - CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 - SIGNS SHALL BE CONSTRUCTED OF ALUMINUM, TYPE 6061-T6 AND IN CONFORMANCE WITH ASTM STD B-209. THICKNESS SHALL BE 0.80 INCHES.
 - TOP EDGE TREATMENT FILM SHALL BE 3" WIDE, CLEAR AND TRANSPARENT WITH A SUB-RESISTANT PRESSURE SENSITIVE NON-YELLOWING ADHESIVE, "SKOTCHCAL" TRANSPARENT FILE #639.
 - REFLECTIVE FACING MATERIAL SHALL BE SCOTCHLITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY.
 - SIGN LETTERING SHALL BE NPS MODIFIED CLARENDON TYPEFACE. UPPERCASE LETTERS SHALL BE 3.75" HEIGHT AND LOWERCASE LETTERS SHALL BE 2.5" HEIGHT WITH 3.75" SPACING BETWEEN LINES.
 - CORNER RADIUS OF SIGNS SHALL BE 2.5" ARROWS SHALL BE 5.625" LONG BY 3.75" HIGH.
 - MOUNT ON BUILDING OR METAL POST AS DIRECTED.

HANDICAP SIGN DETAIL
NOT TO SCALE

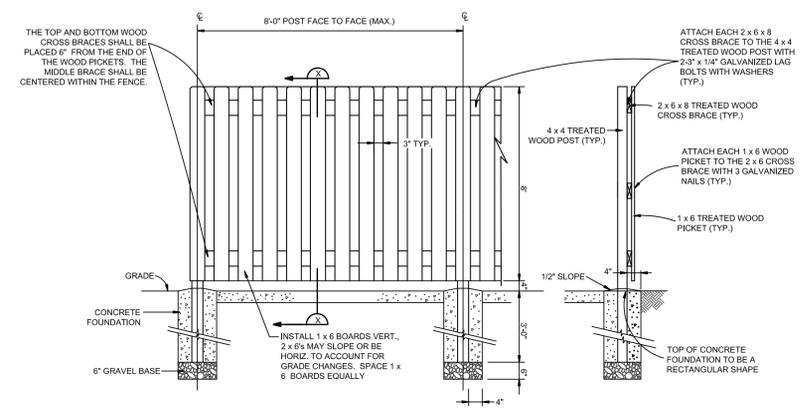


NOTE II - CONTRACTOR SHALL PROVIDE PHOTOGRAPHIC OR SIMILAR ACCEPTABLE EVIDENCE TO THE OWNER'S CONSTRUCTION MANAGER UPON COMPLETION OF STEEL PLACEMENT.

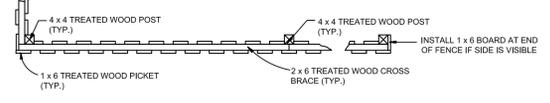
- NOTES:**
- FOOTINGS SHALL EXTEND 18" BELOW ADJACENT EXISTING GRADE BELOW FROST DEPTHS PER LOCAL CODES. SEE SOILS REPORT FOR ANY ADDITIONAL DESIGN CRITERIA.
 - ENCLOSURE SHALL BE SHADOWBOX FENCE

NOTES AND SPECIFICATIONS

- FENCING**
SPECIFICATIONS FOR WOOD FENCES THE FOLLOWING SPECIFICATIONS, DERIVED FROM ASTM F 537 AND STANDARD PRACTICE IN THE FENCE INDUSTRY, SHALL APPLY TO THE MATERIALS AND CONSTRUCTION OF WOOD FENCES:
(A) POSTS AND FRAMING - POST SPACING SHALL NOT EXCEED EIGHT FEET (8'). ALL POST HOLES SHOULD BE A MINIMUM OF THIRTY INCHES (30") DEEP FOR FOUR FEET (4') HIGH FENCES AND THIRTY-SIX INCHES (36") DEEP FOR FENCES HIGHER THAN FOUR FEET (4') UP TO SIX FEET (6'). ALL TERMINAL, CORNER AND GATE POSTS SHOULD BE SET TO THIRTY-SIX INCHES (36") DEEP.
(B) POST HOLES SHOULD BE AT LEAST FOUR INCHES (4") LARGER IN DIAMETER THAN THE LARGEST DIMENSION OF THE POST. ALL TERMINAL, CORNER AND GATE POSTS SHOULD BE SET IN CONCRETE.
(C) FENCES UP TO FIVE FEET (5') SHALL HAVE A MINIMUM OF TWO RAILS (STRINGERS) TOP AND BOTTOM. FENCES OVER FIVE FEET (5') SHALL HAVE A THIRD RAIL AT CENTER HEIGHT. STRINGERS SHALL BE 2X6 MINIMUM (NOMINAL).
(D) MATERIALS - ALL MATERIALS USED IN WOOD FENCING SHOULD BE EITHER (1) NATURALLY ROT-RESISTANT WOOD (SUCH AS CEDAR), (2) A WOOD PRESURE TREATED FOR ROT-RESISTANCE, OR (3) BE COATED THOROUGHLY WITH A PAINT OR PROTECTIVE COATING IMMEDIATELY ON ERECTION.
(E) FASTENERS - FASTENERS SHALL BE MADE OF A NON-RUSTING, NON-CORROSIVE MATERIAL OR COATED TO RESIST RUSTING. NAILS SHALL BE LONG ENOUGH TO PENETRATE THE RECEIVING MEMBER TWICE THE THICKNESS OF THE THINNER MEMBER BUT NOT LESS THAN ONE AND ONE-HALF INCHES (1 1/2").
(F) COVER BOARDS SHALL BE 1/2" MINIMUM THICKNESS.
(G) SOLID WOOD FENCES SHOULD ALLOW FOR EXPANSION TO AVOID BUCKLING AS FOLLOWS: FOR WIDTHS 2 TO 4 INCHES, A ONE SIXTEENTH INCH (1/16") SPACE SHOULD BE PROVIDED. FOR WIDTHS 6 TO 8 INCHES, A MINIMUM SPACE OF ONE EIGHTH INCH (1/8") SHOULD BE PROVIDED.
(H) THE TOPS OF THE COVER BOARDS SHALL BE CUT AS DOG EAR (CORNERS CUT OFF AT 45 DEGREE ANGLES).



ELEVATION



PLAN VIEW
SHADOW BOX FENCE DETAIL
NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
LAKESIDE PARTNERS OF WILMINGTON, INC.
811 MARTIN STREET
WILMINGTON, NC 28401

PARAMOUNT ENGINEERING
5911 Olander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License # C-2846

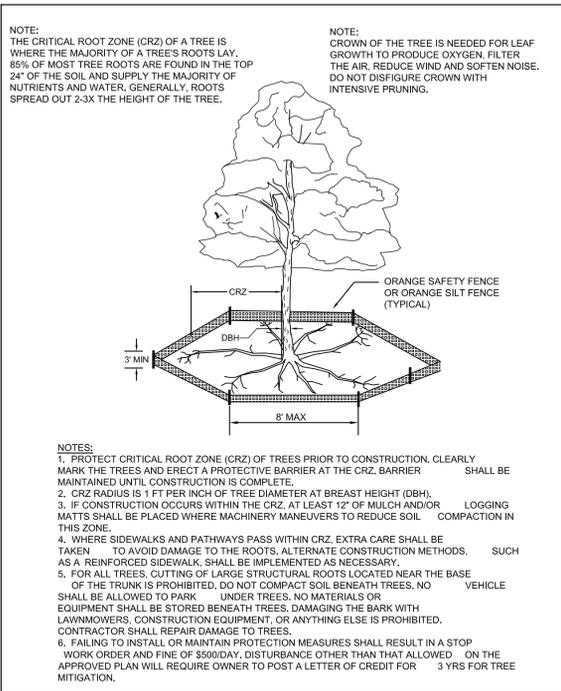
DETAILS
LAKESIDE RESERVE
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS
CONCEPTUAL LAYOUT: _____
FINAL DESIGN LAYOUT: _____
RELEASED FOR CONSTRUCTION: _____

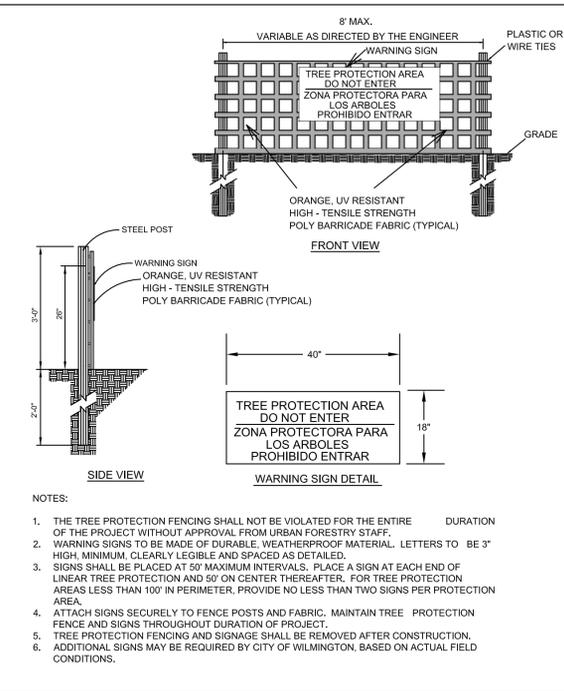
DRAWING INFORMATION
DATE: 12/04/15
SCALE: 1"=40'
DESIGNED: _____
CHECKED: _____

SEAL
NORTH CAROLINA PROFESSIONAL ENGINEER
032354
12/04/15

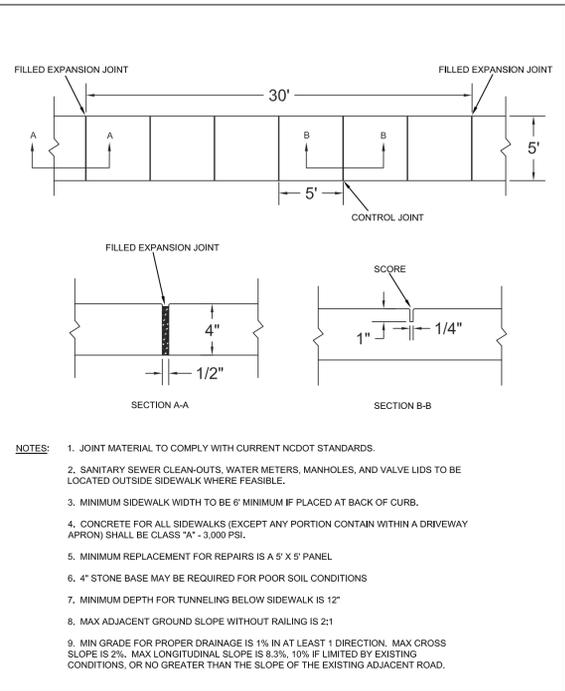
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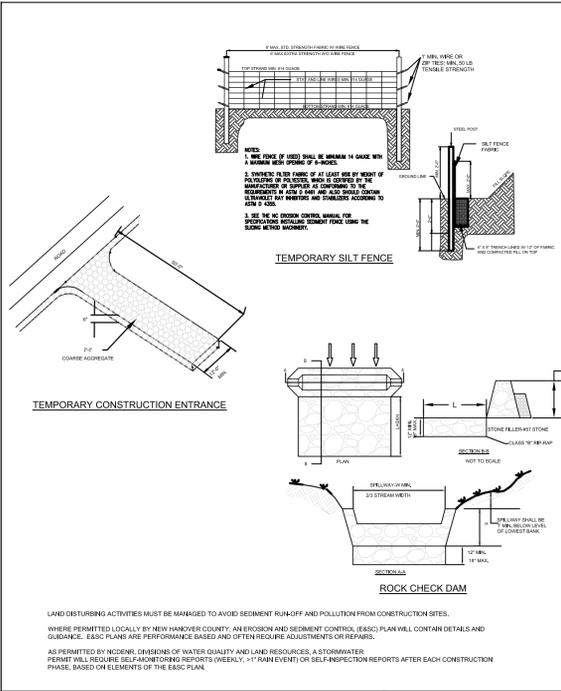
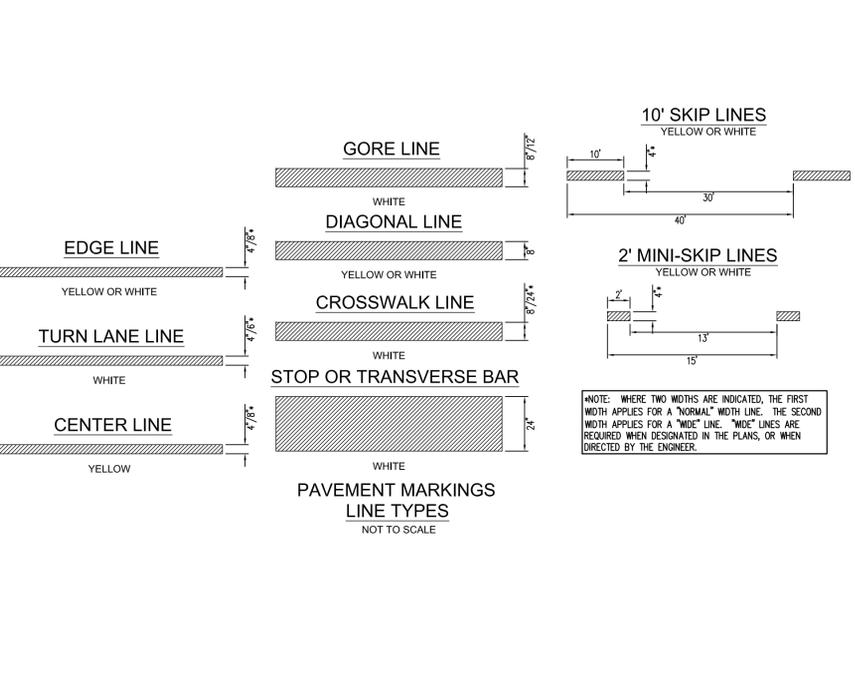
DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	
CHECKED BY: RDG, P.E.	SHEET 1 OF 2	
SCALE: NOT TO SCALE	SD 15-09	



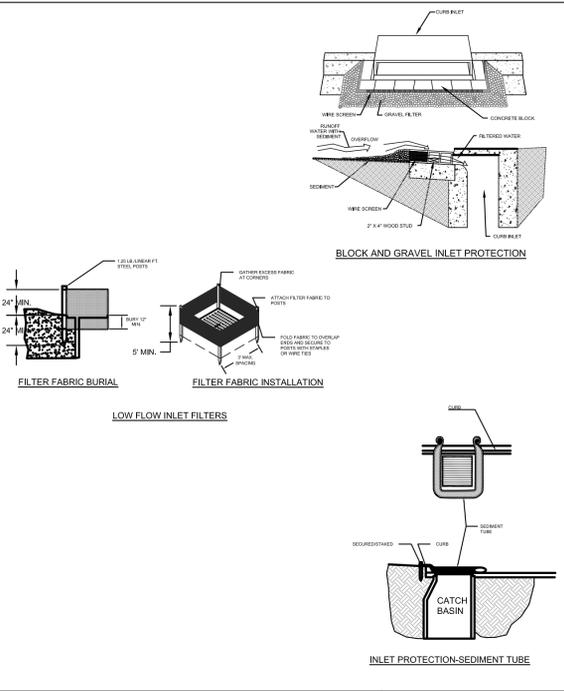
DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	
CHECKED BY: RDG, P.E.	SHEET 2 OF 2	
SCALE: NOT TO SCALE	SD 15-09	



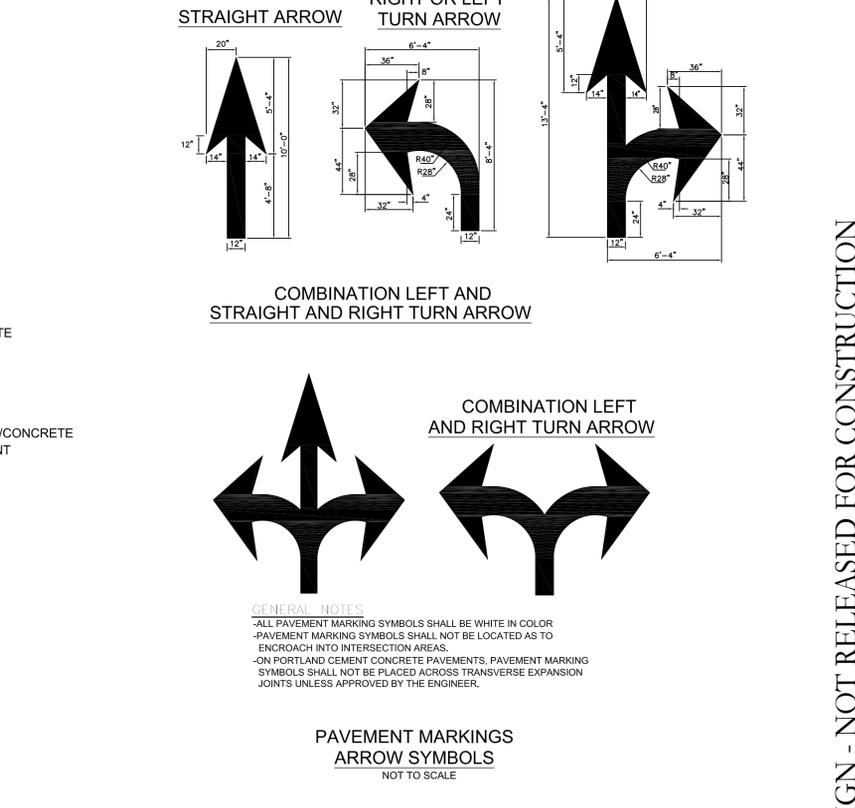
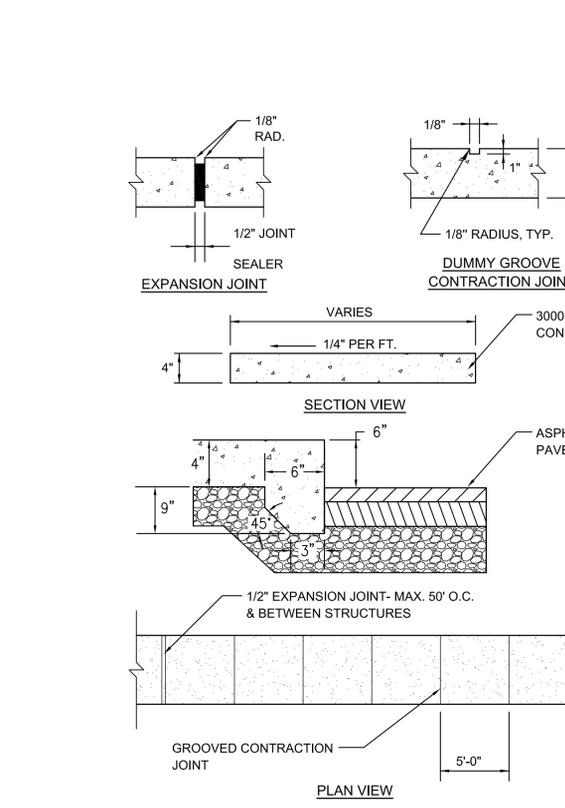
DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: PB/JSR	SIDEWALK	
CHECKED BY: DEC	SHEET 1 OF 1	
SCALE: NOT TO SCALE	SD 3-10	



DATE: SEPTEMBER, 2012	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	
CHECKED BY: BDR, P.E.	SHEET 1 OF 2	
SCALE: NOT TO SCALE	SD 3-104	



DATE: SEPTEMBER, 2012	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	
CHECKED BY: BDR, P.E.	SHEET 2 OF 2	
SCALE: NOT TO SCALE	SD 3-104	



DATE: SEPTEMBER, 2012	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	
CHECKED BY: BDR, P.E.	SHEET 1 OF 2	
SCALE: NOT TO SCALE	SD 3-104	

DATE: SEPTEMBER, 2012	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	
CHECKED BY: BDR, P.E.	SHEET 2 OF 2	
SCALE: NOT TO SCALE	SD 3-104	

DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: PB/JSR	SIDEWALK	
CHECKED BY: DEC	SHEET 1 OF 1	
SCALE: NOT TO SCALE	SD 3-10	

DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: PB/JSR	SIDEWALK	
CHECKED BY: DEC	SHEET 1 OF 1	
SCALE: NOT TO SCALE	SD 3-10	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

APPROVED CONSTRUCTION PLAN
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

REVISIONS:

CLIENT INFORMATION:
LAKESIDE PARTNERS OF WILMINGTON, INC.
811 MARTIN STREET
WILMINGTON, NC 28401

PARAMOUNT ENGINEERING
5911 Olander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License # C-2846

DETAILS
LAKESIDE RESERVE
CITY OF WILMINGTON
NORTH CAROLINA

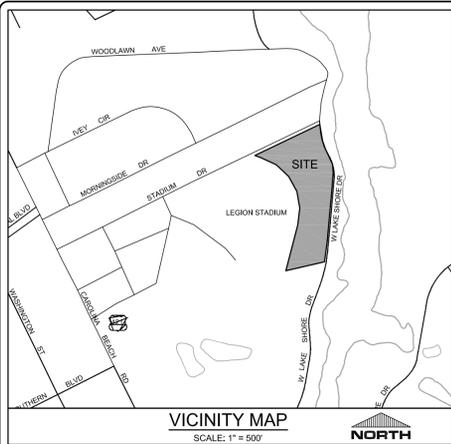
PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN:
RELEASED FOR CONST:

DRAWING INFORMATION:
DATE: 12/04/15
SCALE: 1"=40'
DESIGNED: BDR
CHECKED: BDR

SEAL
NORTH CAROLINA PROFESSIONAL ENGINEER
034354
BRANDY
12/04/15

C-4.1
PEI JOB#: 14304.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



LANDSCAPE CALCULATIONS:

RECD	PROV
13,950 SF	14,100 SF
23	23 + WITH CREDITS FOR EXISTING TREES SAVED
138	150

STADIUM DRIVE SECONDARY STREETYARD
 (823 LF FRONTAGE - 48 LF OF DRIVEWAYS = 775) * 18
 @ 1 CANOPY / 600 SF OR
 @ 6 SHRUBS / 600 SF

PARKING AREA INTERIOR
 30,440 SF * 20% SHADING
 LARGE SHADE / CANOPY TREES @ 707 SF

PARKING AREA PERIMETER - N/A

FOUNDATION PLANTINGS

RECD	PROV
3,816 SF	3,960 SF
6	6 (1 EXISTING, 5 PROPOSED)
36	36

PHASE 1 BLDGS - WEST FACING WALL ADJACENT TO PARKING AREA
 265.84 LF * 24' 2" (24.167) FT HGT * 0.12 = 771 SF 771 SF

PHASE 2 BLDGS - WEST FACING WALL ADJACENT TO PARKING AREA
 169 LF * 24' 2" (24.167) FT HGT * 0.12 = 490 SF 490 SF

PHASE 2 BLDGS - SOUTH FACING WALL ADJACENT TO PARKING AREA
 169 LF * 24' 2" (24.167) FT HGT * 0.12 = 490 SF 490 SF

Plant Schedule

Key	Qty	Common Name	Size & Specs.
Trees			
LO	5	Live Oak 'High Rise'	specimen, 3" cal.
NO	8	Nuttall Oak	3" cal.
Shrubs			
DYH	244	Dwarf Yaupon Holly	12" hgt. min.
LOR	64	Loropetalum 'Ruby'	12" hgt. min.
NPH	36	Needlepoint Holly	12" hgt. min.
PIT	8	Variagated Pittosporum	12" hgt. min.
WM	12	Wax Myrtle	4 hgt. min.; full to ground
Ground Cover and Ornamental Grasses			
PMG	60	Pink Muhly Grass	3 gal. spaced 4' o.c.
SP	25	Saw Palmetto	3 gal. spaced 4' o.c.
Seed & Mulch			
		Bermuda 'Blackjack'	Seed all disturbed areas
		Double Shredded Hardwood Mulch	All plant beds: 3" Depth Mn.

NAD 83 (2011)
(NC GRID)

SITE DATA

PROJECT NAME: GOOD SHEPHERD CENTER
 SITE ADDRESS: 2144 W. LAKE SHORE DRIVE
 NHC PIN: R06013-018-008-000
 PROPERTY OWNER: CITY OF WILMINGTON
 SOURCE DEED: DEED BOOK 5677, PAGE 2543
 AREA: 185,790± SF OR 4.26± ACRES
 ZONING: MFL (CD)
 PROPOSED USE: MULTI-FAMILY
 CAMA LAND USE: URBAN
 EXISTING EASEMENTS: NONE KNOWN

DIMENSION REQUIREMENTS

SETBACKS:	REQUIRED	PROVIDED
FRONT	N/A*	30'
SIDE	N/A*	13.5'
REAR	20'	110.1'
	8.5'	69.3'

*PER SECTION 18-184(g)(12), FRONT AND CORNER SIDE SETBACKS DO NOT APPLY AS LONG AS THE FOLLOWING CRITERIA ARE MET:

- THE STREET IS NOT ZONED R-20, R-15, R-7, R-5, OR R-3
- BUILDINGS MUST HAVE AN ENTRANCE FROM THE SIDEWALK
- HVAC EQUIPMENT, AIR CONDITIONING WINDOW UNITS, ELECTRICAL EQUIPMENT, FIRE ESCAPES, SOLID WASTE FACILITIES, AND OTHER UTILITY EQUIPMENT SHALL NOT BE LOCATED ALONG FACADES WITH STREET FRONTAGE
- ARCHITECTURAL FEATURES, INCLUDING FENESTRATION, MATERIAL CHANGES OR OTHER DESIGN FEATURES MUST BE PROVIDED ALONG THE STREET SUCH THAT BLANK WALL SPACE DOES NOT EXCEED FIFTEEN (15) FEET IN LENGTH

MAXIMUM HEIGHT 35' (24'-2" PROPOSED)

BUILDING INFORMATION

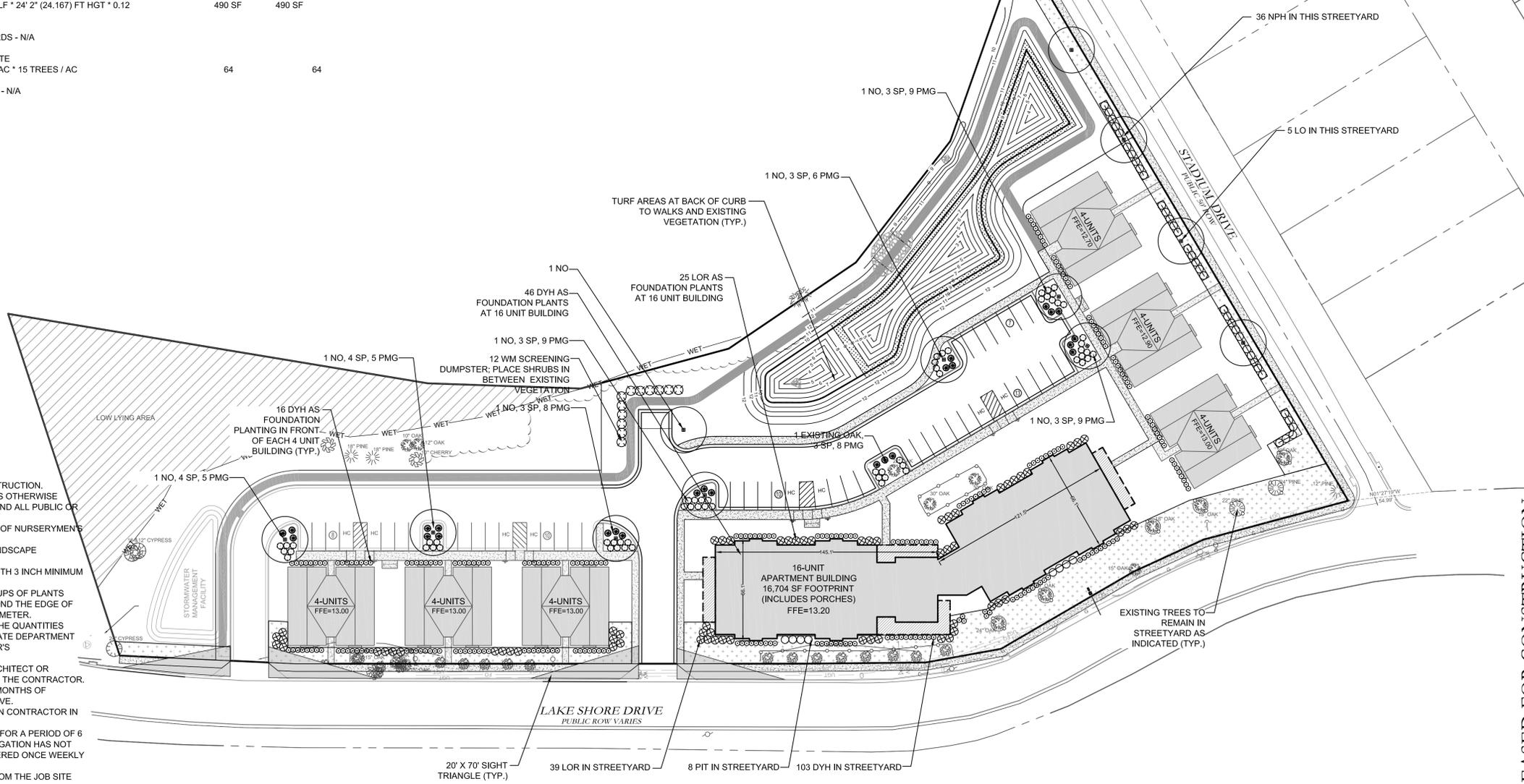
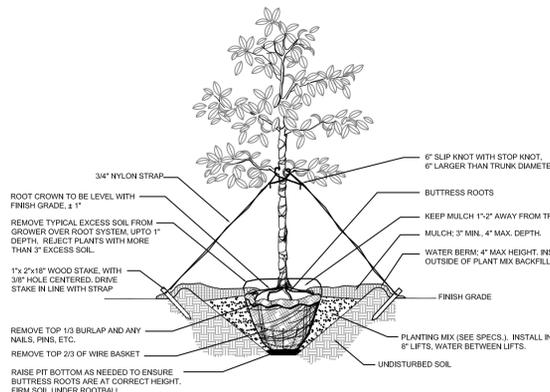
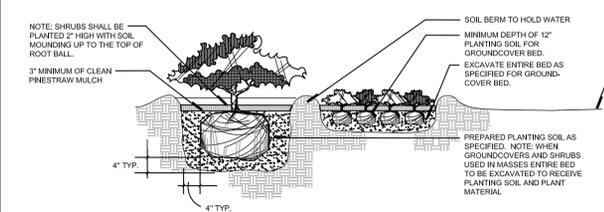
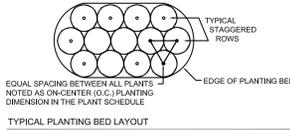
PHASE I: (1) 16-UNIT APARTMENT BUILDING (16,704 SF) [1 STORY]
 PHASE II: (6) 4-UNIT APARTMENTS BUILDING (2,853 SF EACH) [1 STORY]
 TOTAL BUILDINGS: 7 (40 1-BR UNITS; 33,822 SF)
 BUILDING COVERAGE: 18.2%
 CONSTRUCTION TYPE: V-B

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- IF IRRIGATION IS NEEDED, IT SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS SHALL BE SEEDED.

NOTES:

- OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
- INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE
- TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

NCDENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

LEGEND

- W-W = EXISTING PROPERTY LINE
- SS-SS = EXISTING WATER MAIN
- OHE = EXISTING FIRE HYDRANT
- OHE 13M = EXISTING SANITARY SEWER MAIN
- WET = EXISTING OVERHEAD ELECTRIC
- FO-FO = EX. UNDERGROUND ELECTRIC
- FO-FO = EX. UNDERGROUND FIBER OPTIC
- FO-FO = PROPOSED SANITARY SEWER SERVICE
- FO-FO = PROPOSED WATER SERVICE
- FO-FO = PROPOSED STORM SEWER
- FO-FO = PROPOSED DROP INLET
- X = EX. TREE TO BE REMOVED

GRAPHIC SCALE
0 20 40 80 160
SCALE: 1"=40'

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:

PARAMOUNT ENGINEERING
 5911 Olander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License # C-2846

LANDSCAPE PLAN

GOOD SHEPHERD CENTER
 CITY OF WILMINGTON
 NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 FINAL LAYOUT:
 RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION:
 DATE: 11/14/18
 SCALE: 1"=40'
 DESIGNED: [Signature]
 CHECKED: [Signature]

SEAL

L-1.0

PEJ JOB#: 14304.PE

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LAKESIDE RESERVE
 PERMANENT SUPPORTIVE HOUSING

Wilmington, NC

- Job Number: 1402
- Date: 10.7.2015
- Revisions:



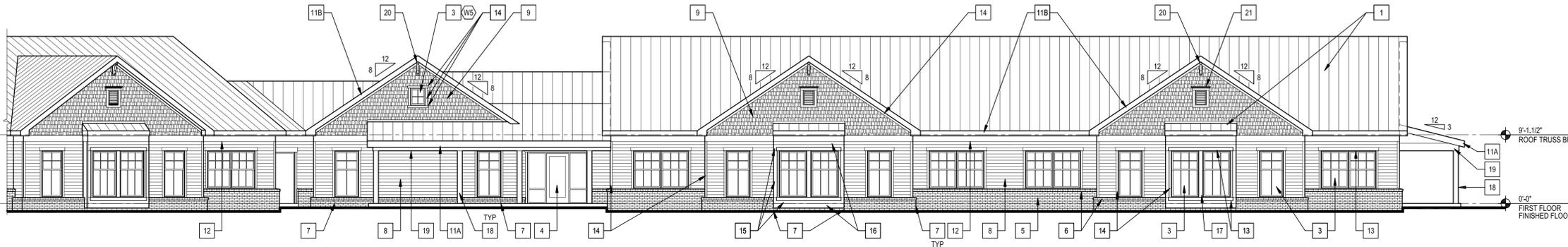
Building Elevations

Sheet

A3.1

ELEVATION KEYNOTES

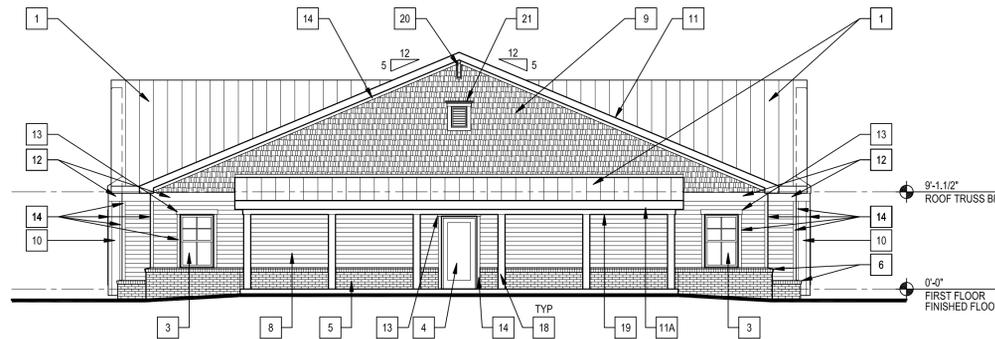
- 1 STANDING SEAM METAL ROOFING (WARRANTIES: 20 YEAR WEATHER TIGHTNESS, 25 YEAR MATERIAL & 35 YEAR FINISH)
- 2 PREFIN SEAMLESS ALUMINUM GUTTER OR DOWNSPOUT, TYPICAL - REFER TO ROOF PLAN FOR LOCATIONS
- 3 SOLID VINYL SINGLE HUNG WINDOW(S) WITH LOW-E GLAZING; U-VALUE = 0.35 MAX, SHGC = 0.30 MAX
- 4 SCHEDULED DOOR/FRAME TYPE - SEE A9.1
- 5 FACE BRICK VENEER, RUNNING BOND PATTERN
- 6 FACE BRICK VENEER ROWLOCK SILL, SLOPE TO DRAIN
- 7 MASONRY CONTROL JOINT (CJ), CJS TO ALSO BE PROVIDED AT ALL INSIDE CORNERS, TYPICAL
- 8 FIBER CEMENT LAP SIDING, 5" EXPOSURE
- 9 FIBER CEMENT SHINGLE SIDING WITH STAGGERED EDGES
- 10 FIBER CEMENT PANEL SIDING
- 11A 1/2" x 10" FIBER CEMENT FASCIA
- 11B 1/2" x 8" FIBER CEMENT TRIM
- 12 1/2" x 10" FIBER CEMENT TRIM
- 13 1/2" x 6" FIBER CEMENT TRIM
- 14 1/2" x 4" FIBER CEMENT TRIM
- 15 1/2" x 10" FIBER CEMENT TRIM
- 16 1/2" x 8" FIBER CEMENT TRIM
- 17 1/2" x FIBER CEMENT TRIM - TRIMMED TO WIDTH REQUIRED
- 18 FIBER CEMENT WRAPPED WOOD POST
- 19 FIBER CEMENT WRAPPED WOOD BEAM
- 20 PUR BRACKET (FYRON BKT11X20 OR EQUAL)
- 21 PUR DECORATIVE LOUVER (FYRON LV18X24-4FWCH OR EQUAL)



WEST ELEVATION

SCALE: 1/8"=1'-0"

3



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

2



EAST ELEVATION

SCALE: 1/8"=1'-0"

1

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LAKESIDE RESERVE

PERMANENT SUPPORTIVE HOUSING

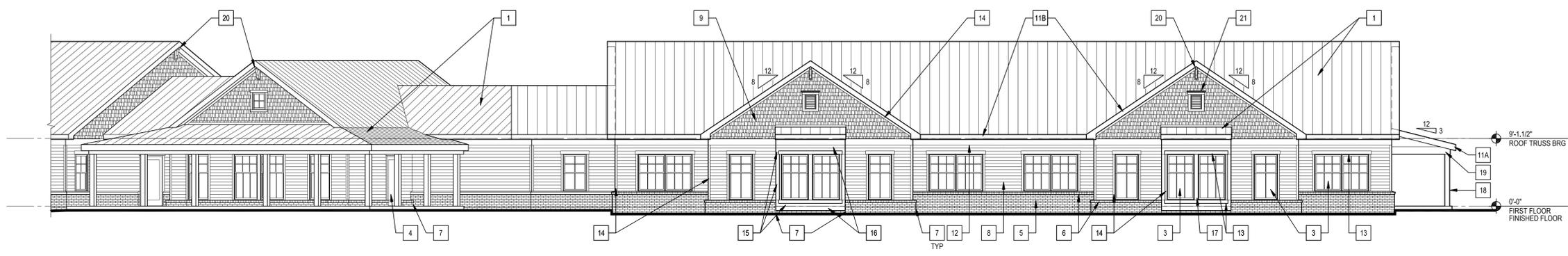
Wilmington, NC

- Job Number: 1402
- Date: 10.7.2015
- Revisions:



ELEVATION KEYNOTES

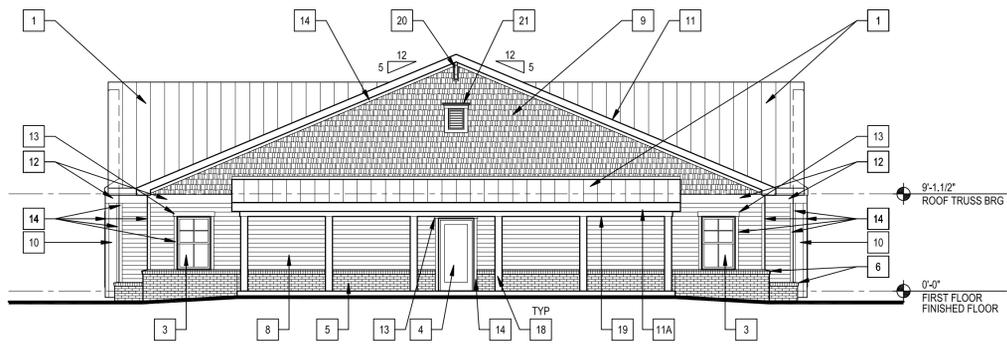
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- 21 PUR DECORATIVE LOUVER (FYRON LV18X24-4FWCH OR EQUAL)



NORTHEAST ELEVATION

SCALE: 1/8"=1'-0"

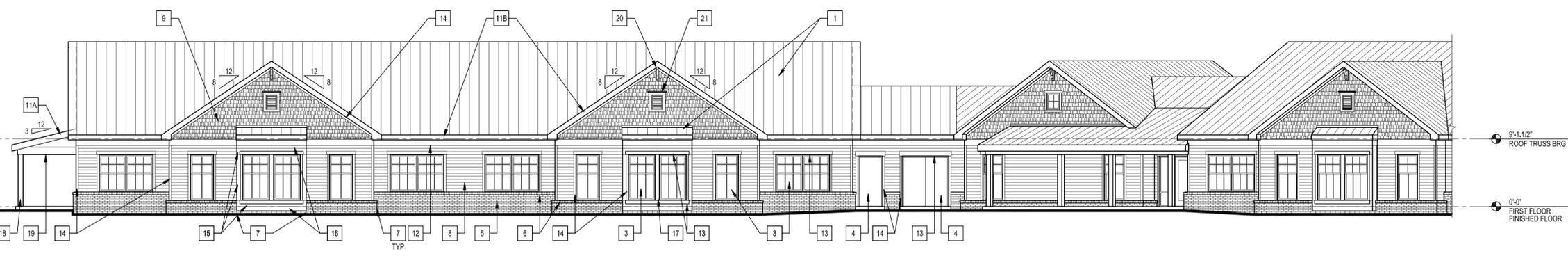
3



NORTH ELEVATION

SCALE: 1/8"=1'-0"

2



NORTHWEST ELEVATION

SCALE: 1/8"=1'-0"

1

