

VICINITY MAP  
SCALE: 1"=800'

**SITE INFORMATION**

**OWNER INFORMATION:**  
PROJECT ADDRESS: GARRIS ROAD MINI STORAGE  
5414 MARKET STREET  
WILMINGTON, NC 28403

**TAX PARCEL IDENTIFICATION #:** R04912-004-002-000  
**RECORDED DEED BOOK:** BK 9908 PG 1013  
**CURRENT ZONING:** RB - REGIONAL BUSINESS  
**EXISTING USE:** UNDEVELOPED  
**PROPOSED USE:** PH1: MULTI-STORY STORAGE  
PH2-4: OFFICE/FLEX SPACE  
PH 3-4: BUILDING FOR RVs/BOATS/TRAILERS

**PROPOSED ACCESSORY USE:** 198,402SF (4.55 +/- ACRES)  
**TOTAL SITE AREA:**

**FLOOD INFORMATION:** THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD INDICATED BY FEMA 3720314800J

**ZONE AS FLOOD ZONE PANEL BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.** URBAN  
**CAMA LAND USE CLASSIFICATION:** URBAN

**DIMENSIONAL REQUIREMENTS**

RB - REGIONAL BUSINESS

- MINIMUM LOT AREA: 1 ACRE
- MINIMUM LOT WIDTH: 100'
- MAXIMUM LOT COVERAGE: 40%
- MINIMUM FRONT SETBACK: 25'
- MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL USE
- MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL USE
- MINIMUM CORNER LOT SIDE SETBACK: 25'
- MAXIMUM BUILDING HEIGHT: 35'
- ADDITIONAL BLDG HT. ALLOWED: 4' ADDITIONAL SETBACK FOR FIRST 10' IN HT. ADDED

**IMPERVIOUS INFORMATION**

EXISTING IMPERVIOUS AREA: 0 SF  
MAX LOT COVERAGE: 49% (PROPOSED)  
PROPOSED IMPERVIOUS AREA: 35,540 SF  
TOTAL BUILDING (FOOTPRINT) ON-SITE PARKING, ACCESSORY STRUCTURES, & DRIVEWAYS: 61,014 SF  
ON-SITE SIDEWALKS: 0 SF  
FUTURE BUILDING EXPANSION: 0 SF  
FUTURE IMPERVIOUS: 0 SF  
TOTAL PROPOSED IMP. AREA: 96,554 SF (2.22 AC)

PROPOSED PERCENT IMPERVIOUS: 96,554 / 198,402 = 49%

**PHASE 1 MULTI-STORY STORAGE BUILDING INFORMATION**

CONSTRUCTION TYPE: STEEL FRAME  
NUMBER OF EXISTING BUILDINGS: 0  
NUMBER OF PROPOSED BUILDINGS: 1 IN PH 1  
PROPOSED BUILDING SF: 102,700 SF TOTAL, 32,200 SF FOOTPRINT  
MAX. HEIGHT: 44'-0" (9' ABOVE BASE ALLOWED HT.)  
MINIMUM PARKING REQUIRED: 17 SPACES  
TOTAL REQUIRED: 17 SPACES  
TOTAL PROVIDED: 22 SPACES

HANDICAP PARKING REQUIRED: 1 SPACES  
HANDICAP PARKING PROVIDED: 1 SPACES

BICYCLE PARKING REQUIRED: N/A  
BICYCLE PARKING PROVIDED: N/A

**PHASE 2-4 OFFICE/FLEX BUILDING INFORMATION**

CONSTRUCTION TYPE: STEEL FRAME  
NUMBER OF EXISTING BUILDINGS: 0  
NUMBER OF PROPOSED PRIMARY BUILDINGS: 1 IN PH 2  
NUMBER OF ACCESSORY BUILDINGS: 1 IN PH 3, 1 IN PH 4  
PROPOSED PRIMARY BUILDING SF: 3,340 SF  
MAX. HEIGHT: 15' OFFICE/FLEX, 35' OR LESS ACCESSORY  
PRIMARY BLDG. PARKING REQUIRED: 17 SPACES MAX.  
TOTAL REQUIRED: 17 SPACES MAX.  
TOTAL PROVIDED: 17 SPACES MAX.

PROPOSED ACCESSORY BUILDINGS PH 3 & 4: 13,444 SF  
ACCESSORY BLDG. PARKING REQUIRED: N/A  
TOTAL PROVIDED: 8 SPACES (TO BE CONSTRUCTED IN PH 2)

HANDICAP PARKING REQUIRED: 0 ADDITIONAL SPACES REQ'D BEYOND PH2

HANDICAP PARKING PROVIDED: 0 SPACES

BICYCLE PARKING REQUIRED: N/A  
BICYCLE PARKING PROVIDED: N/A

LANDSCAPE CALCULATIONS: SEE SHEET L-1.0 LANDSCAPE PLAN FOR CALCULATIONS.

SECURITY GATE NOTE: ALL SECURITY GATES SHALL BE SIREN ACTIVATED FOR FIRE DEPARTMENT ACCESS.

**GENERAL NOTES:**

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- THERE SHALL BE NO OUTSIDE, UNCOVERED STORAGE.
- THERE SHALL BE NO STORAGE OF HAZARDOUS OR FLAMMABLE MATERIALS.

**AUTOTURN NOTE:**

- AASHTO 2004 (US) S-BUS-40 IS EQUIVALENT WHEEL BASE AS A TYPICAL ENGINE FIRE TRUCK AND GARBAGE TRUCK WITH ARMS OVER THE CAB.

**FIRE & LIFE SAFETY NOTES:**

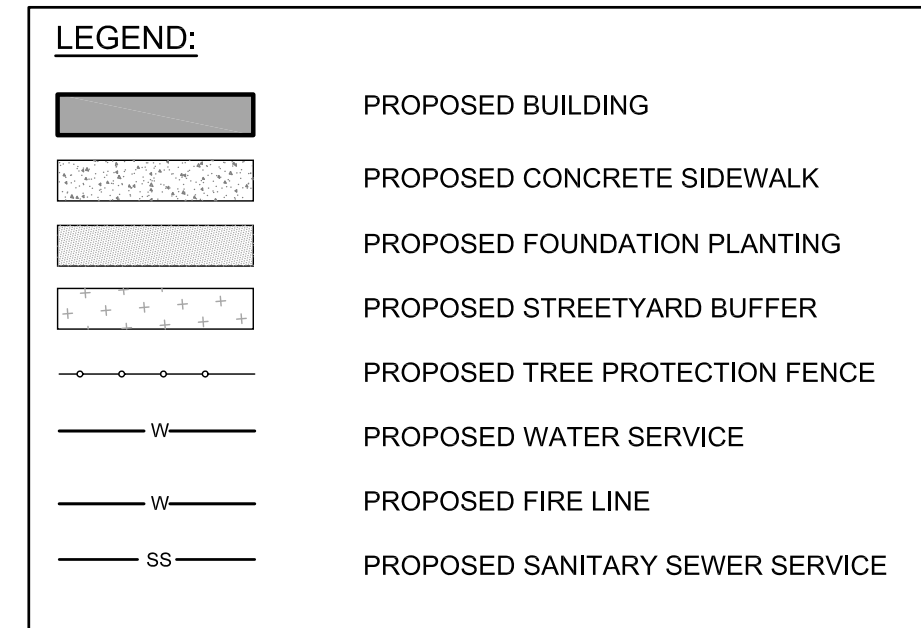
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. THIS CAN BE SATISFIED BY INSTALLING THE BASE COURSE OF THE PROPOSED PAVEMENT SECTION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY NEW HANOVER COUNTY FIRE SERVICES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING.
- CONSTRUCTION TYPE - IIB, BUILDING WILL BE SPRINKLED.
- ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

**UTILITY INFORMATION**

**SANITARY SEWER**  
THIS PROJECT IS PROVIDING A NEW SEWER SERVICE TO AN EXISTING 8-INCH GRAVITY MAIN LOCATED WITHIN THE 17TH STREET RIGHT OF WAY. THIS PROJECT IS PROPOSING A 4-INCH SERVICE AND SANITARY SEWER ALLOCATION IS PROVIDED BY CFPWA.

**WATER**  
A 8-INCH WATER MAIN IS LOCATED WITHIN THE 17TH STREET RIGHT OF WAY. THE PROPOSED BUILDING WILL HAVE A 8-INCH FIRE SERVICE AND A 3/4-INCH DOMESTIC SERVICE WILL BE CONNECTED TO THE EXISTING 8-INCH WATER MAIN. DOMESTIC WATER ALLOCATION PROVIDED BY CFPWA.

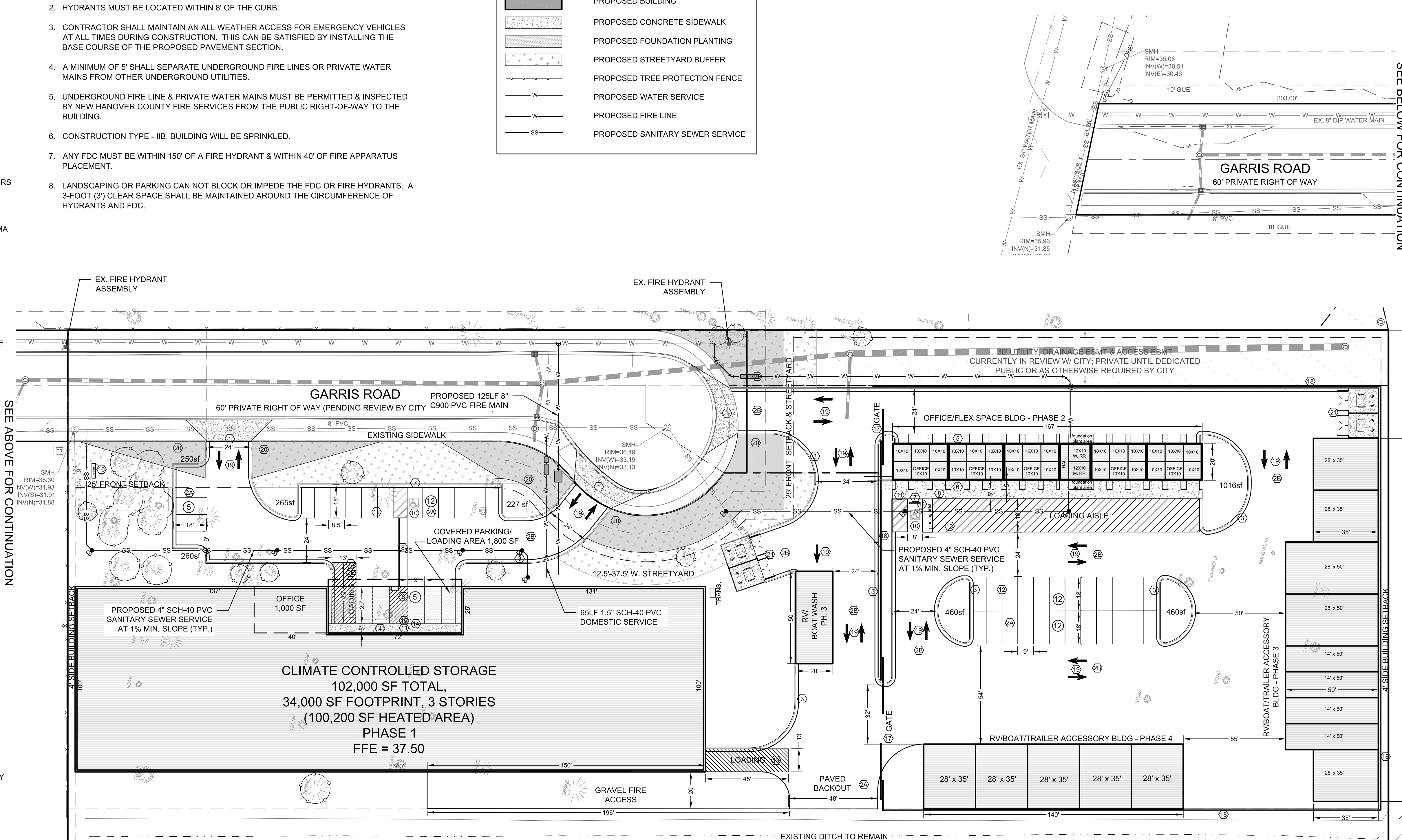
**NATURAL GAS**  
NOT PROPOSED IN PROJECT



**KEY NOTES:**

- CONCRETE DRIVE APRON: CITY STD. DRIVEWAY SD 3-03
- LIGHT DUTY ASPHALT PAVING:
- HEAVY DUTY ASPHALT PAVING:
- STANDARD 24" CURB & GUTTER:
- CONCRETE SIDEWALK W/ TURN-DOWN CURB:
- ASPHALT ROLL-UP DOOR RAMP:
- CONCRETE ROLL-UP DOOR RAMP & AT GRADE CONCRETE SIDEWALK:
- HANDICAP PARKING SIGN:
- DESIGNATED ACCESSIBLE ROUTE: PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.
- HANDICAP PARKING SYMBOL:
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- DETECTIBLE WARNING MAT: REFER TO DETAIL C-5.0
- STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- STRIPING: PROVIDE 4" WIDE LOADING ZONE STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- CONCRETE BUMPER BLOCK: 8"W x 4"H x 8'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1"-6" LONG #4 REBAR. REFER TO DETAIL C-5.0
- HANDICAP RAMP: REFER TO DETAIL C-5.0.
- SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER.
- ELECTRONIC SECURITY GATE: REFER TO DETAIL C-5.1
- 6" VINYL COATED CHAINLINK FENCE (BLACK): REFER TO DETAIL C-5.0
- DIRECTIONAL ARROW STRIPING: PROVIDE DIRECTION ARROW STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 20'x70' SIGHT TRIANGLE
- MASONRY DUMPSTER ENCLOSURE & GATES:

SIDEWALK NOTE:  
IF SIDEWALK PANELS DO NOT MEET CITY STD. DRIVEWAY SD 3-03 THEY MUST BE REPLACED.



SEE ABOVE FOR CONTINUATION

SEE BELOW FOR CONTINUATION

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

NC DENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

City of WILMINGTON  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

GRAPHIC SCALE  
SCALE: 1"=90'

REVISIONS:

CLIENT INFORMATION:

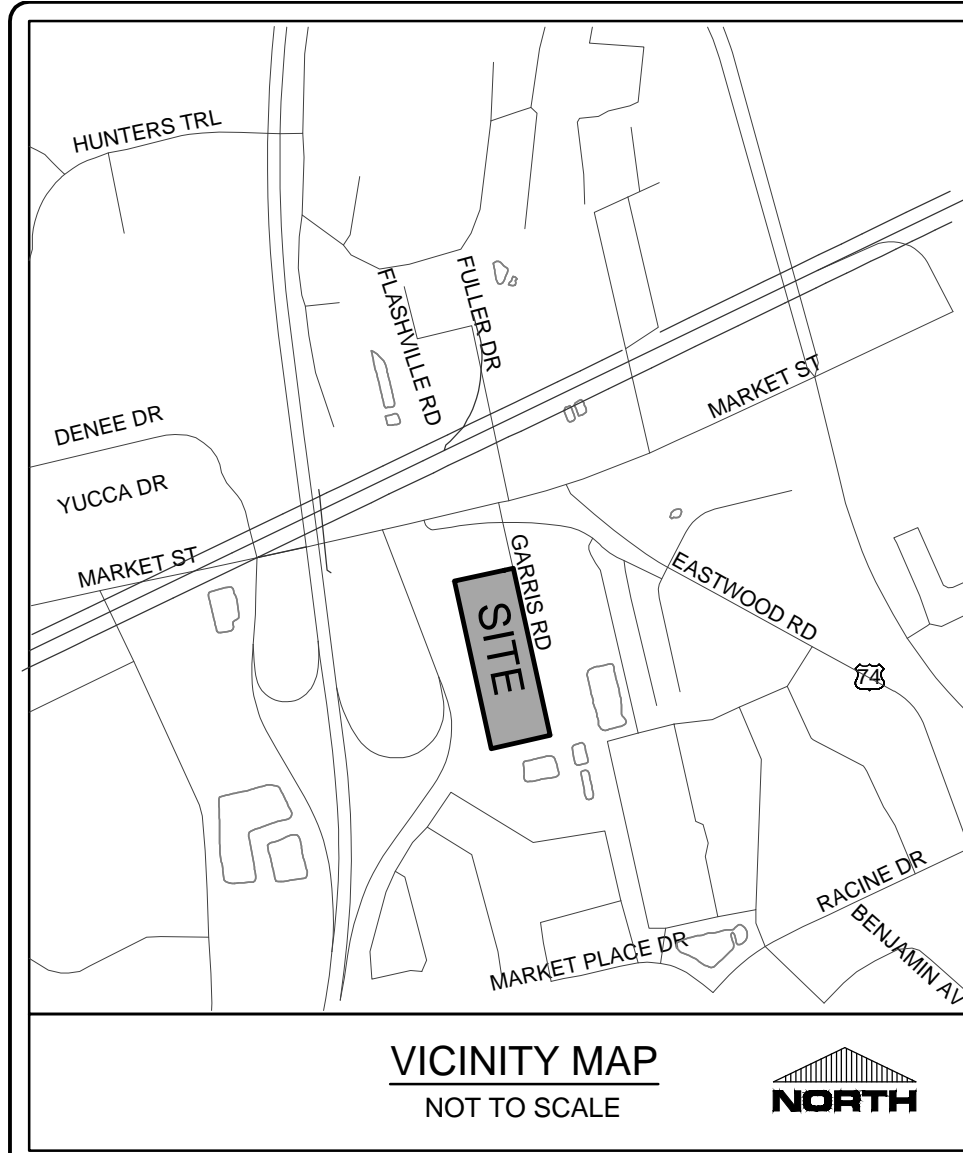
**PARAMOUNTE**  
ENGINEERING INC.  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**MAJOR SITE PLAN**  
GARRIS ROAD STORAGE  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS: \_\_\_\_\_  
DRAWING INFORMATION: 6.717  
DATE: 11.18.20  
SCALE: 1"=90'  
DRAWN BY: JRC  
CHECKED: \_\_\_\_\_

SEAL

C-2.0  
PEI JOB#: 17148.PE



VICINITY MAP  
NOT TO SCALE

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 5414 MARKET STREET  
 WILMINGTON, NC 28403

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**CAMA LAND USE CLASSIFICATION:** URBAN

**DIMENSIONAL REQUIREMENTS**  
 RB - REGIONAL BUSINESS  
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 - MINIMUM LOT WIDTH: 100'  
 - MAXIMUM LOT COVERAGE: 40%  
 - MINIMUM FRONT SETBACK: 25'  
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL USE  
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL USE  
 - MINIMUM CORNER LOT SIDE SETBACK: 25'  
 - MAXIMUM BUILDING HEIGHT: 35'  
 - ADDITIONAL BLDG HT. ALLOWED: 4' ADDITIONAL SETBACK FOR FIRST 10' IN HT. ADDED

**LANDSCAPE CALCULATIONS:**

**STREETYARD (factor of 25)**

|                        | REQ'D    | PROV                  |
|------------------------|----------|-----------------------|
| 389 lf * 25 = 9,725 sf | 9,725 sf | 12,957 sf             |
| 1 Canopy Tree / 600 SF | 17       | (5 new + 12 existing) |
| 6 Shrubs / 600 SF      | 98       | 98                    |

**PARKING LOT INTERIOR**

|   | REQ'D    | PROV       |
|---|----------|------------|
| 25,474 sf Paving x 20% = Landscaping sf | 5,095 sf | 9,191 sf   |
|   |          | 13 @ 707sf |

**FOUNDATION PLANTINGS**

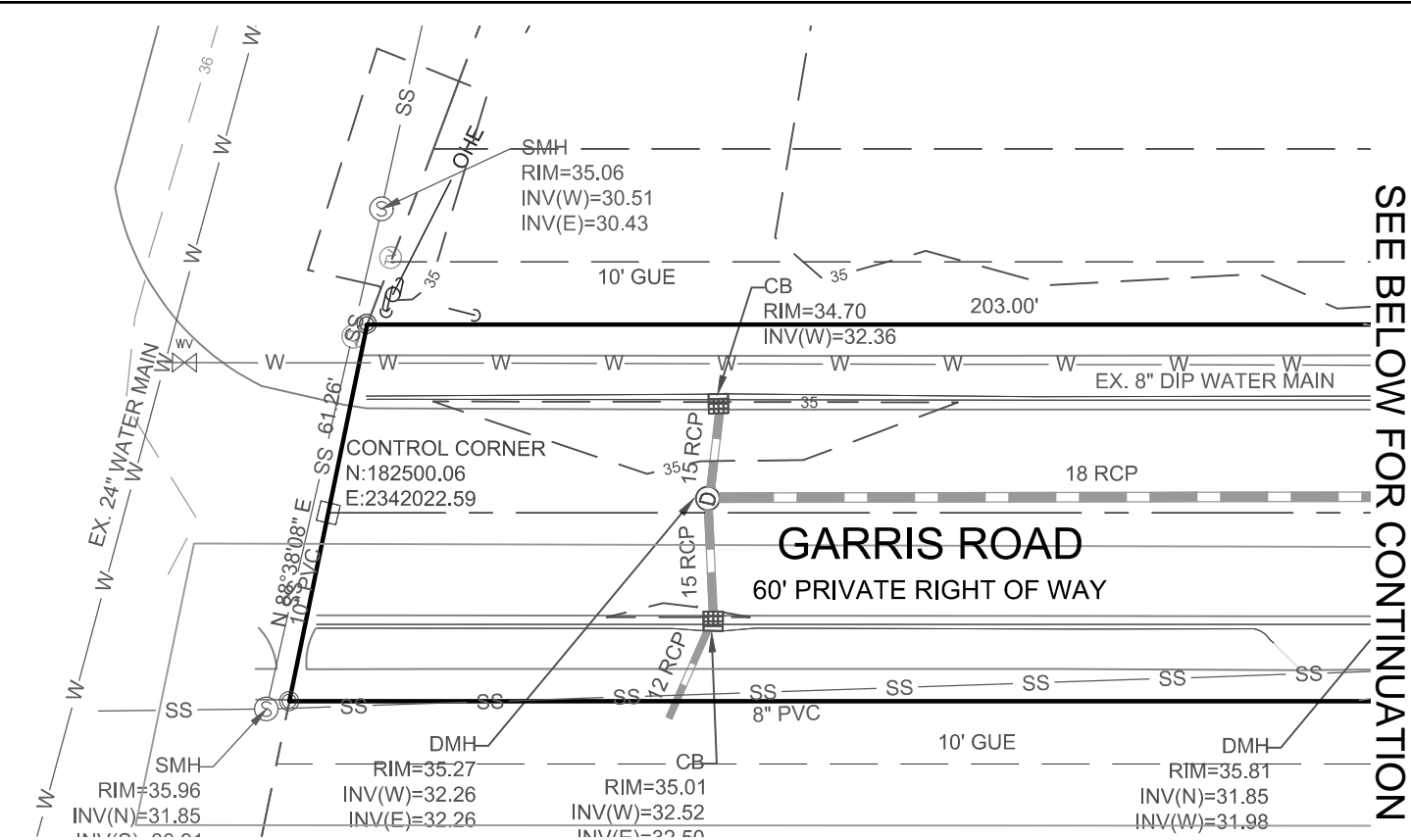
|  | REQ'D    | PROV     |
|--|----------|----------|
| Main Building (318 lf x 44' h) 13,992 sf x 12%         | 1,679 sf | 1,690 sf |
| Office/Flex Space Bldg (334 lf x 15' h) 3,340 sf x 12% | 602 sf   | 633 sf   |

**OVERALL SITE TREE PLANTING REQUIREMENTS**

|  | REQ'D | PROV         |
|--|-------|--------------|
| Tree coverage per acre disturbed by development per section 62.1-3(b)(5) | 44    | 32           |
| +12 existing   |       | +12 existing |
|  |       | 44 total     |

**LEGEND:**

- SPILL GUTTER
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED CHAIN LINK FENCE
- PROPOSED TREE LINE
- PROPOSED LIGHT POLE
- PROPOSED STREETYARD BUFFER
- PROPOSED LANDSCAPE ISLAND
- PROPOSED FOUNDATION PLANTINGS
- PROPOSED TREE PROTECTION FENCE



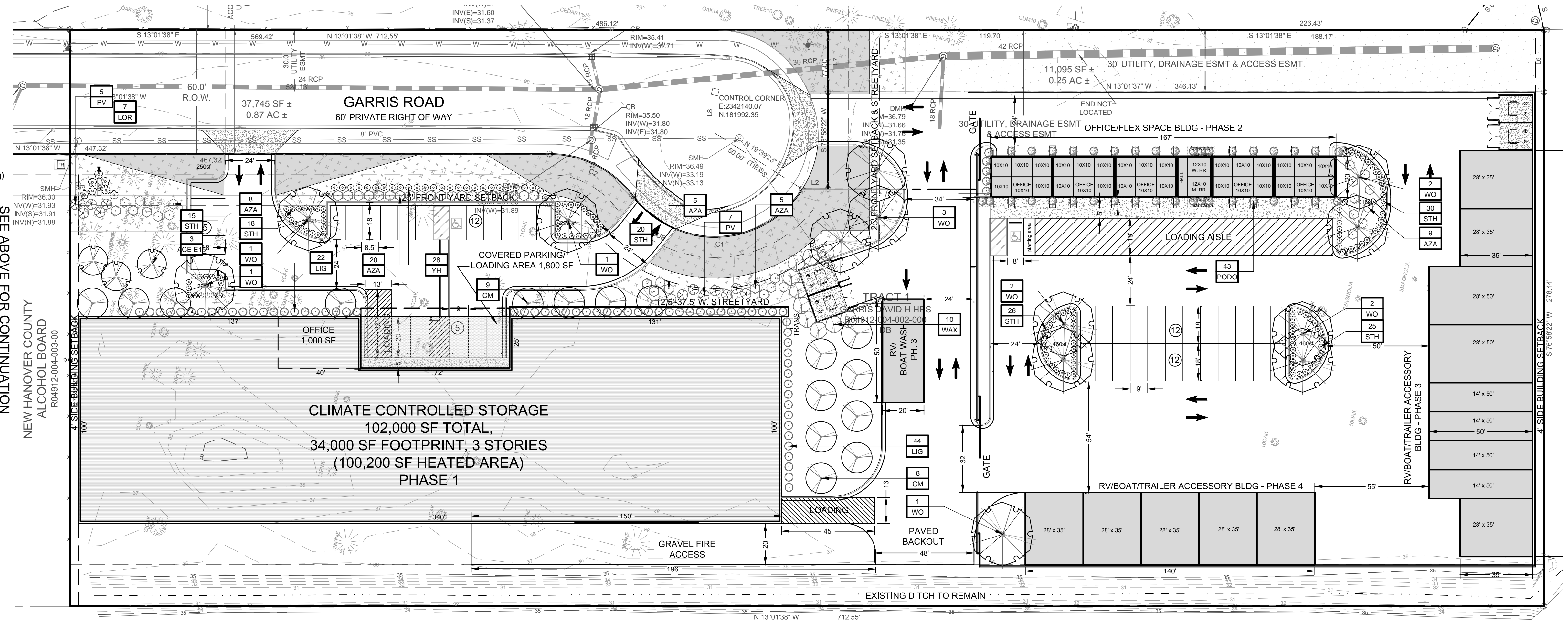
SEE BELOW FOR CONTINUATION

**LANDSCAPE NOTES:**

- Contractor is responsible for identifying all utilities prior to beginning construction.
- Trees shall be located a minimum of 5 feet from sewer/water connections or as otherwise dictated by local regulations. Contractor shall be liable for damage to any and all public or private utilities.
- All plant material shall meet the current version of the American Association of Nurserymen's Standards.
- No tree, other than those shown on approved plans for removal with these plans and/or tree removal permit plans, shall be removed without written authorization from the landscape architect or owner's representative. All shrub beds and/or planting areas excluding turf areas shall be mulched with 3 inch minimum and 4 inch maximum depth pine straw mulch unless otherwise noted.
- All plants, 4 feet or less apart, will be connected in one planting bed. All groups of plants should be within one planting bed with the edge of mulch extending 2 feet beyond the edge of plant mass. Single trees should have a circle of mulch not less than 5 feet diameter.
- Planting soil mix: mix existing soil with the soil amendments and fertilizers in the quantities recommended by the soil testing laboratory, third party recognized by the State Department of Agriculture or as otherwise approved by the landscape architect or owner's representative.
- Any and all substitutions of plant material shall be approved by landscape architect or owner's representative. Failure in obtaining approval may result in liability to the contractor.
- The contractor shall replace dead and/or unhealthy plant material within 12 months of acceptance of the installed material from the owner or owner's representative.
- The contractor shall prepare all seeded or sodded areas to assure that the subgrade has been raked and rolled to accept the sod/seed. All sod/seed areas must be irrigated or hand watered. All sod shall be placed with staggered joints and no gaps between sod joints. Sod should be rolled after installation. All seeded and/or sodded areas should provide a smooth surface free of dips and unlevelled ground.
- Irrigation shall be designed and installed by a licensed irrigation contractor in the state of North Carolina. Irrigation is required at the building perimeter, front entry, and the playground fields. Plans and specifications for the irrigation design shall be submitted to the owner or owner's representative for approval prior to purchase or installation of the materials. (bid alt. #13)
- The contractor is responsible for hand watering the installed plant material for a period of 6 months from the acceptance from the owner or owner's representative if irrigation has not been installed at the time of substantial completion. All material including sod and seeded areas shall be hand watered once weekly or as needed to ensure survival of plants.
- Contractor is responsible for removing trash, debris and excess materials from the job site once the project is complete. Securing any materials left on site during the course of the project is the contractor's responsibility.
- All disturbed areas not designated for sod shall be seeded.
- All vegetation proposed within sight distance areas shall not interfere with sight distance from 30' to 10'.

**PLANT SCHEDULE**

| TREES            | CODE    | QTY | COMMON NAME   | SIZE              |
|------------------|---------|-----|---|-------------------|
|                  | WO      | 13  | WILLOW OAK<br>QUERCUS PHELLOS                         | 2.5' CAL - 8' H   |
| ORNAMENTAL TREES | CODE    | QTY | COMMON NAME   | SIZE              |
|                  | ACE E15 | 3   | EMPEROR I JAPANESE MAPLE<br>ACER PALMATUM 'EMPEROR I' | 15 GAL - 5-6' H   |
|                  | CM      | 16  | CRAPE MYRTLE<br>LAGERSTROEMIA X 'NATCHEZ'             | 15 GAL - 5-6' H   |
| SHRUBS           | CODE    | QTY | COMMON NAME   | CONT              |
|                  | AZA     | 47  | FORMOSA AZALEA<br>AZALEA I. 'FORMOSA'                 | 7 GAL - 36"X36"   |
|                  | LIG     | 66  | WAX LEAF LIGUSTRUM<br>LIGUSTRUM J. 'RECURVIFOLIUM'    | 3 GAL - 18" X 18" |
|                  | LOR     | 7   | RUBY LOROPETALUM<br>LOROPETALUM C. 'RUBY'             | 3 GAL - 18" X 18" |
|                  | PODO    | 43  | SHRUB YEW<br>PITTIOSPORUM T. 'VARIEGATA'              | 3 GAL - 18" X 18" |
|                  | PV      | 12  | VARIEGATED MOCK ORANGE<br>PITTIOSPORUM T. 'VARIEGATA' | 3 GAL - 18" X 18" |
|                  | STH     | 134 | SOFT TOUCH HOLLY<br>ILEX C. 'SOFT TOUCH'              | 3 GAL - 18" X 18" |
|                  | WAX     | 10  | WAX MYRTLE<br>MYRTICA CERIFERA                        | 3 GAL - 18" X 18" |
|                  | YH      | 28  | DWARF YAUPON<br>ILEX VOMITORIA 'NANA'                 | 3 GAL - 18" X 18" |



SEE ABOVE FOR CONTINUATION

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:  
 TBC PROPERTY MANAGEMENT  
 11111 CAMEL COMMONS BLVD.  
 CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

LANDSCAPE PLAN  
 GARRIS ROAD STORAGE  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA

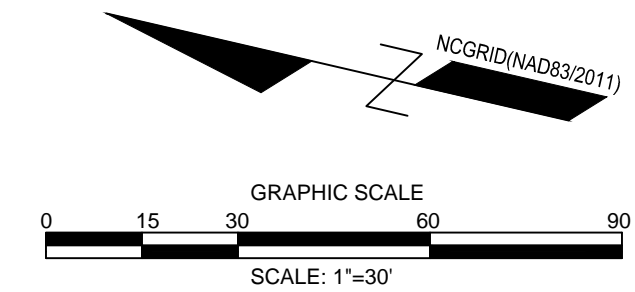
PROJECT STATUS  
 PRELIMINARY LAYOUT  
 FINAL DESIGN  
 RELEASED FOR CONSTRUCTION

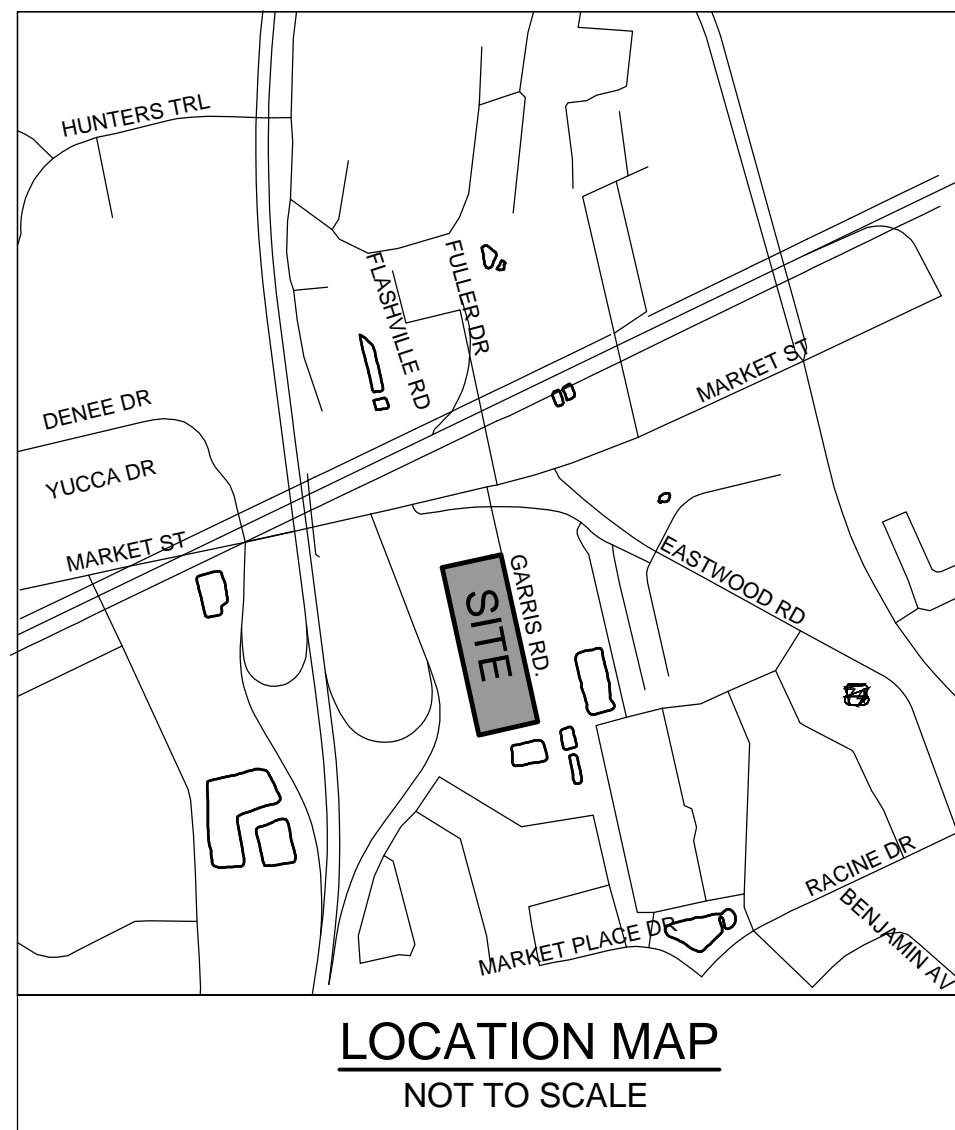
DRAWING INFORMATION  
 DATE: 6/7/17  
 SCALE: 1"=30'  
 DRAWN: JRC  
 CHECKED: JAE

SEAL

L-1.0

PEI JOB#: 17148.PE





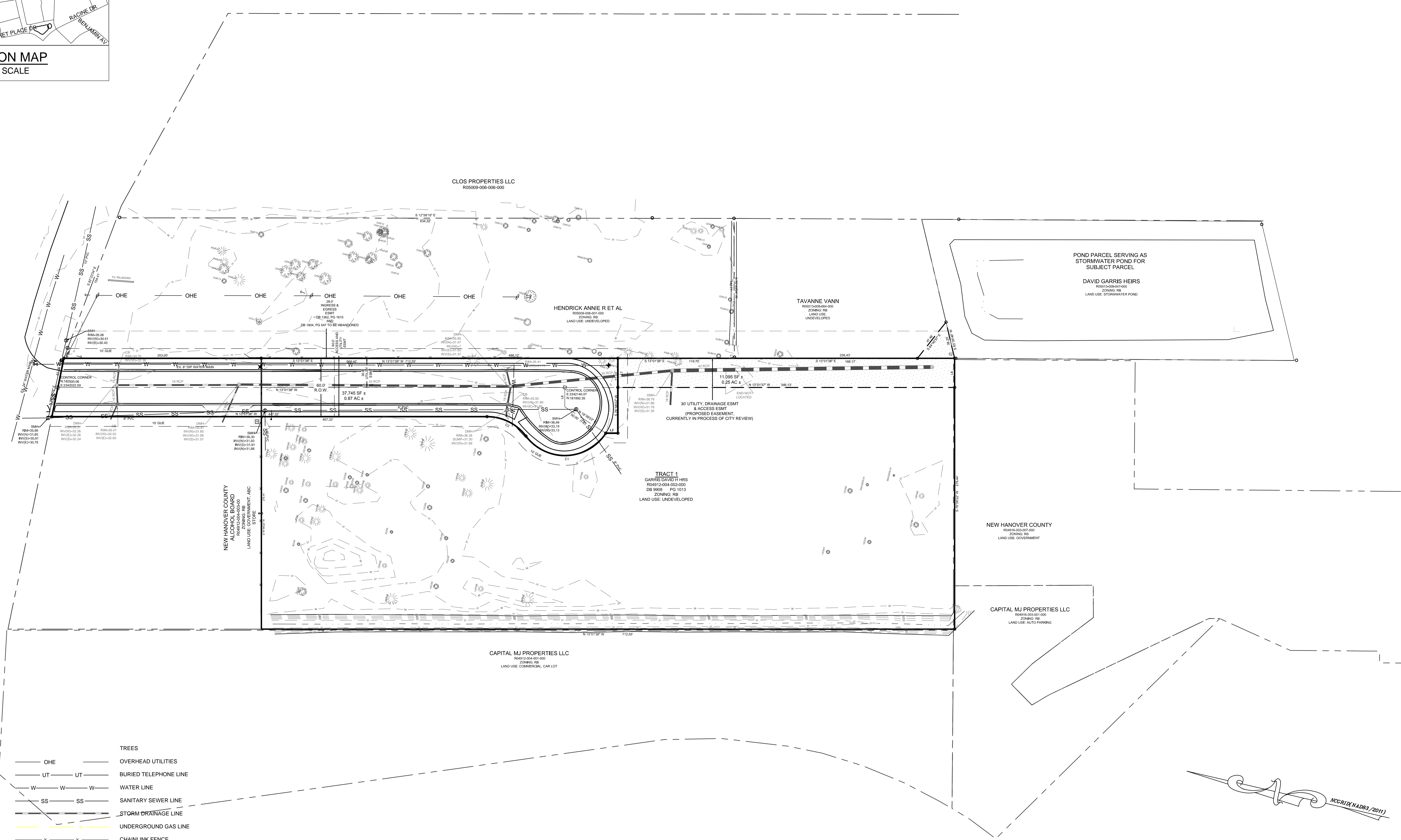
**NOTES**

1. NO NCGS MONUMENT WITHIN 2000 FEET.
2. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.
3. UTILITIES AS SHOWN ARE PLOTTED FROM INFORMATION VISIBLE IN THE FIELD AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. THE APPROPRIATE UTILITY COMPANIES SHOULD BE CONTRACTED PRIOR TO LAND DISTRIBUTING ACTIVITIES.
4. THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO OLD EASTWOOD ROAD, A PUBLICLY DEDICATED STREET
5. ZONING FURNISHED BY GOVERNMENTAL AGENCY FOR INFORMATIONAL PURPOSES ONLY
6. HORIZONTAL DATUM AND VERTICAL (NAVD88) DATUM WAS ESTABLISHED UTILIZING A TOPCON HYPERLITE GPS RECEIVER OPERATING IN VRS MODE WITH REPEAT OBSERVATIONS.
7. AREAS CALCULATED BY COORDINATES

R04912-004-002-000  
GARRIS DAVID H HRS

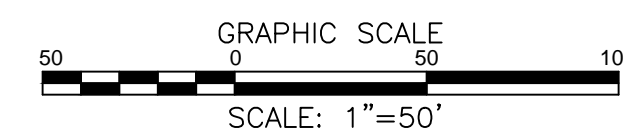
| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| 11   | S 12°50'30" W | 1.38     |
| 12   | N 12°50'30" E | 1.38     |
| 13   | N 12°50'30" E | 1.38     |
| 14   | S 12°50'30" W | 1.38     |
| 15   | S 12°50'30" W | 1.38     |

| AREA | AREA   | AREA   | AREA   | AREA   | AREA   |
|------|--------|--------|--------|--------|--------|
| 01   | 0.0000 | 0.0000 | 0.0000 | 0.0000 | 0.0000 |
| 02   | 0.0000 | 0.0000 | 0.0000 | 0.0000 | 0.0000 |
| 03   | 0.0000 | 0.0000 | 0.0000 | 0.0000 | 0.0000 |
| 04   | 0.0000 | 0.0000 | 0.0000 | 0.0000 | 0.0000 |
| 05   | 0.0000 | 0.0000 | 0.0000 | 0.0000 | 0.0000 |



- LEGEND:**
- IPF IRON PIPE FOUND
  - IRF IRON ROD FOUND
  - IRS IRON ROD SET
  - PKF PK NAIL FOUND
  - PKS PK NAIL SET
  - CONCRETE MONUMENT FOUND
  - SIGN
  - C&G CONCRETE CURB & GUTTER
  - EP EDGE OF PAVEMENT
  - LIGHT POLE
  - UTILITY POLE
  - GUY ANCHOR
  - TRANSFORMER
  - TELEPHONE RISER
  - WATER METER
  - WATER VALVE
  - FIRE HYDRANT
  - IRRIGATION VALVE
  - CLEAN-OUT
  - SANITARY SEWER MANHOLE
  - STORM DRAINAGE MANHOLE
  - WELL
  - CURB INLET
  - CATCH BASIN
  - GAS METER
  - MAILBOX

- OHE OVERHEAD UTILITIES
- UT BURIED TELEPHONE LINE
- W WATER LINE
- SS SANITARY SEWER LINE
- G STORM DRAINAGE LINE
- X UNDERGROUND GAS LINE
- CHAINLINK FENCE
- EXISTING CONTOUR
- RIGHT OF WAY BOUNDARY



REVISIONS:

CLIENT INFORMATION:

**PARAMOUNT ENGINEERING**  
122 CINEMA DRIVE  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**SURVEY EXHIBIT 5414 GARRIS ROAD**  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

**PROJECT STATUS**  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
RELEASED FOR CONST.

**DRAWING INFORMATION**  
DATE: 8/7/17  
DESIGNED: 1"=50'  
DRAWN: DDP  
CHECKED: CGS

SEAL

PRELIMINARY DRAWING  
DO NOT USE FOR  
CONSTRUCTION,  
RECORDATION,  
CONVEYANCES, OR  
SALES.

EX-1

PEI JOB#: 17148.PE