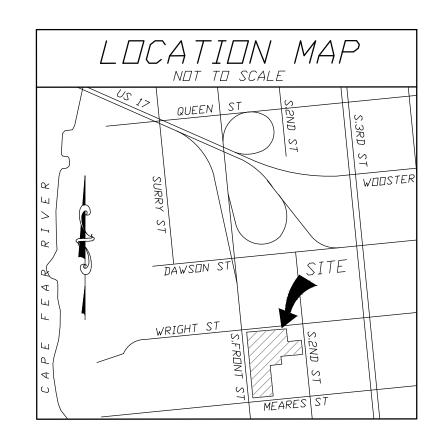


1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS. 2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE.

3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
4. THERE ARE NO WETLANDS ON THIS SITE.

5. NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITIES EXIST.
7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE INTERIOR OF THE SITE.
8. ALL SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.



WILLY OF NORTH CAROLINA
Public Services Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed:

Approved Construction Plan			
<u>Name</u>	Date		
Planning			
Traffic			
Fire			

BUILDING SUMMARY
BUILDING ONE

BUILDING SEVEN

(21) 10 X 10'S

(21) 10 X 10'S 3,120 SQ. FT. CONDITIONED SPACE **BUILDING TWO** (16) 5 X 5'S (32) 5 X 10'S (24) 10 X 10'S 5,060 SQ. FT. UNCONDITIONED SPACE **BUILDING THREE** (16) 5 X 5'S (32) 5 X 10'S (32) 10 X 10'S 5,980 SQ. FT. UNCONDITIONED SPACE BUILDING FOUR (16) 5 X 5'S (48) 5 X 10'S (28) 10 X 10'S 6,440 SQ. FT. UNCONDITIONED SPACE BUILDING FIVE (34) 10 X 15'S 5,100 SQ. FT. UNCONDITIONED SPACE **BUILDING SIX** (21) 10 X 15'S 3,150 SQ. FT. UNCONDITIONED SPACE

3,120 SQ. FT. CONDITIONED SPACE

1017 SOUTH FRONT STREET

FRONT STREET STORAGE

WILMINGTON

NEW HANOVER COUNTY NORTH CAROLINA

SEAL PE 023917

AGINE LIPP. 9.16

SITE PLAN

NNC
Checked:
WSL
Project No:
DB0115

Sheet No:

2-9-16

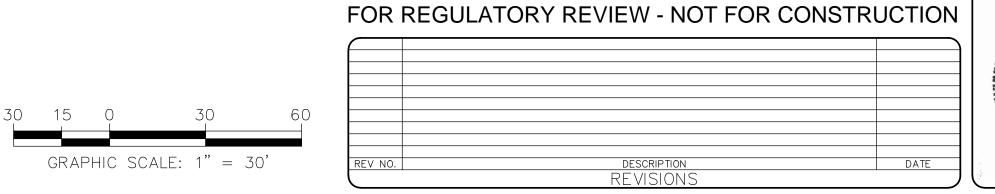
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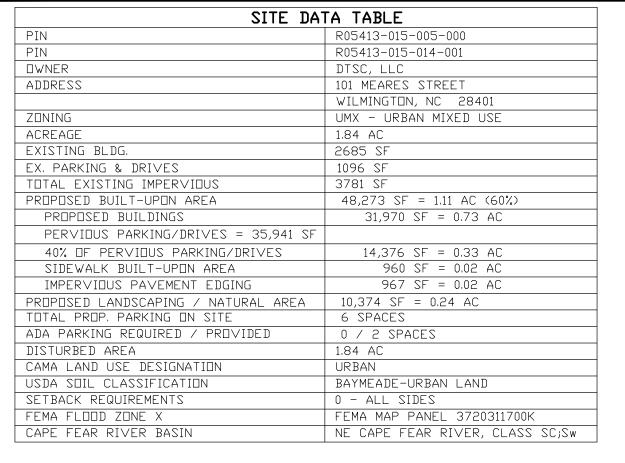
RIGHT ANGLE

ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401

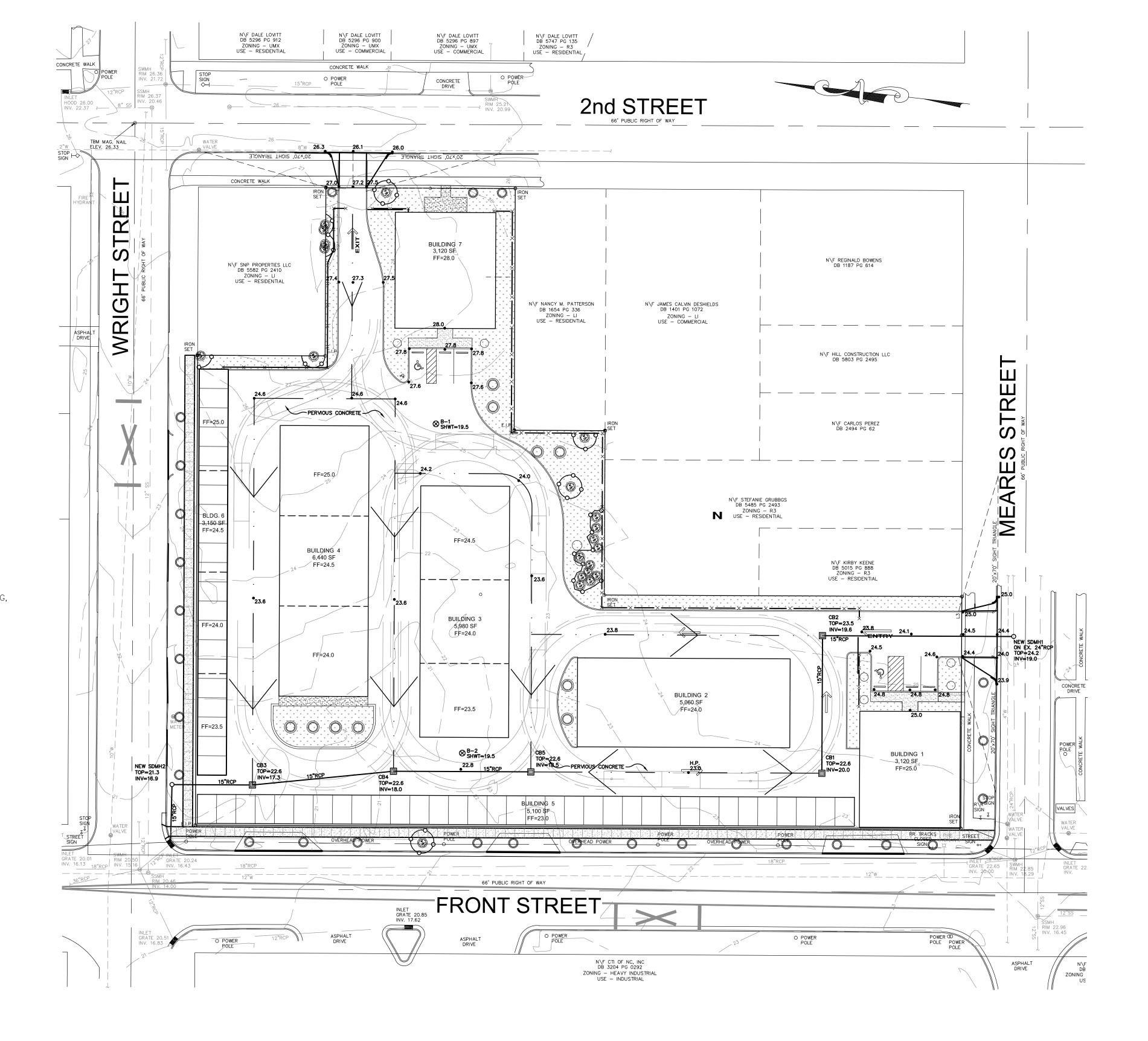
(910) 251-8544 FAX (910) 251-2208

C2

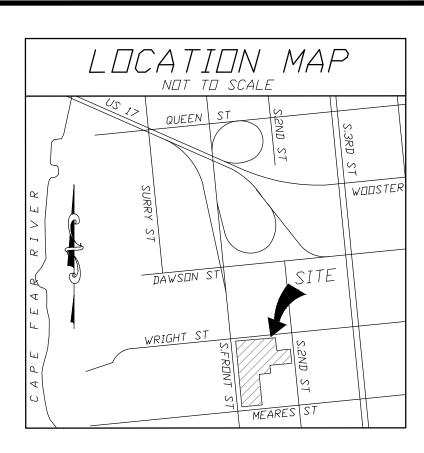


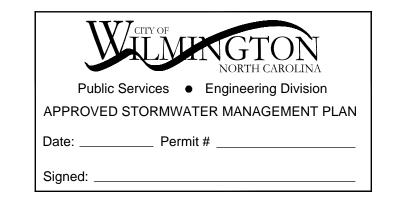


- 1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
- 2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE. 3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES
- OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
- 4. THERE ARE NO WETLANDS ON THIS SITE 5.ND ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
- 6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITIES EXIST. 7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE INTERIOR OF THE SITE. 8. ALL SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS
- ON THE BLOCK.
- 1. THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE.
- FIRM # 3720311700K, JUNE 2, 2006 THERE ARE NO WETLANDS ON THE SITE.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- 4. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- 5. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION
- 6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 7. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION SHELLOW SH ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ)
- DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USCFCCCHR OR ASSE.
- 8. ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
- 9. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
- 10. THE BELLSOUTH CONTACT IS STEVE DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
- ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE. SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON ON WHICH THE MATERIAL IS LOCATED.
- 12. ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
- 13. AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
- 14. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE. 15. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED
- BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 16. A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
- 17. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
- 18. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE. PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- 19. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 20. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 21. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
- 22. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- 23. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES
- DURING CONSTRUCTION.
- 24. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- 25. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING. 26. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 27. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- 28. PARKING SPACES NOT REQUIRED FOR STORAGE FACILITIES. SIX ARE PROVIDED WITH TWO BEING ADA. 29. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT
- IS PROHIBITIED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- 30. IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
- 31. DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO
- STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS. 32. ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE
- CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
- 33. WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THIS DEVELOPMENT.
- 34. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM PUBLIC RIGHT-OF-WAY TO THE BUIDLING. CONTACT WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- 35. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET
- ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE. 36. EXISTING WATER AND SEWER BY CFPUA.
- 37. EXISTING STORMWATER SYSTEM BY CITY OF WILMINGTON. 38. SOLID WASTE DISPOSAL WILL NOT BE PROVIDED.



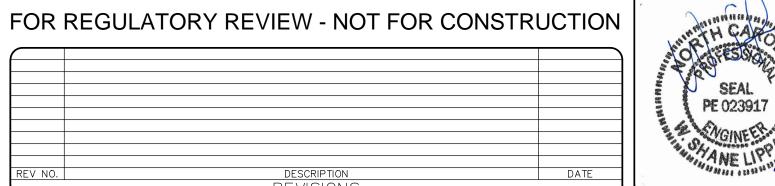
GRAPHIC SCALE: 1" = 30"

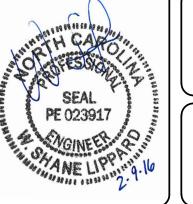




Approved Constru	iction Plan
<u>Name</u>	<u>Date</u>
Planning	
Traffic	
Fire	







GRADING PLAN

(910) 251-8544 FAX (910) 251-2208

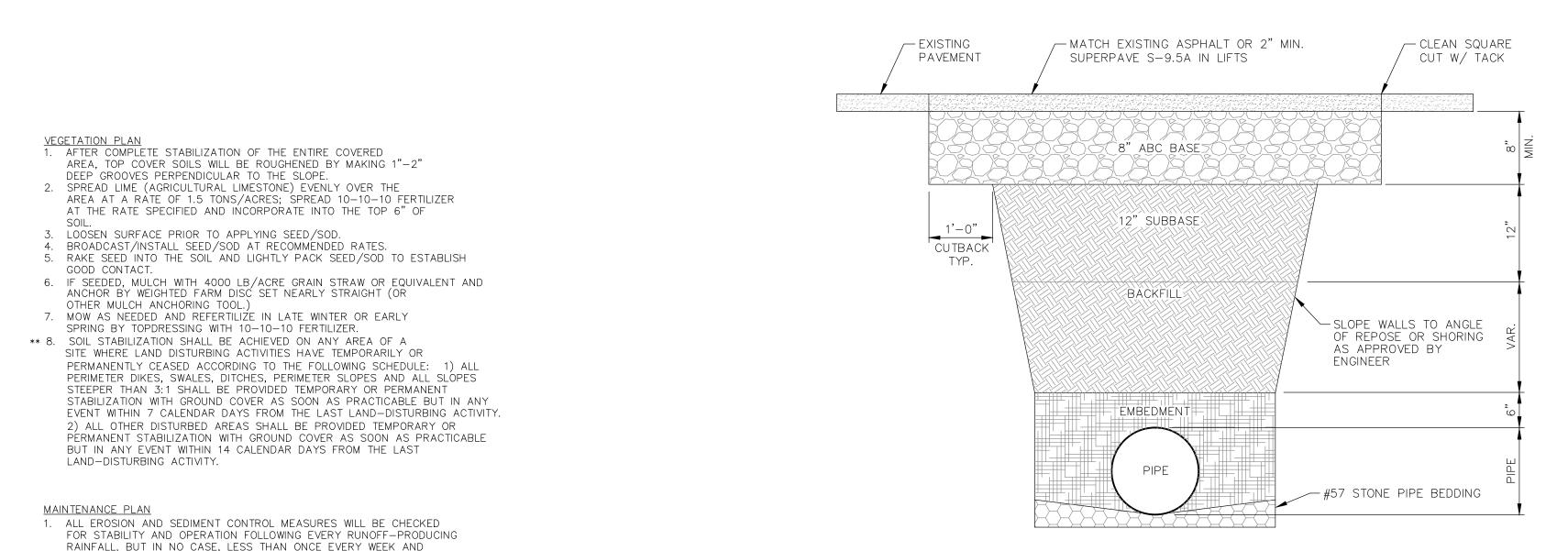
1017 SOUTH FRONT STREET

NNC WSL Project No: DB0115 Sheet No:

2-9-16

1"=30

RIGHT ANGLE ZENGINEERING, P.C. WILMINGTON, NC 28401



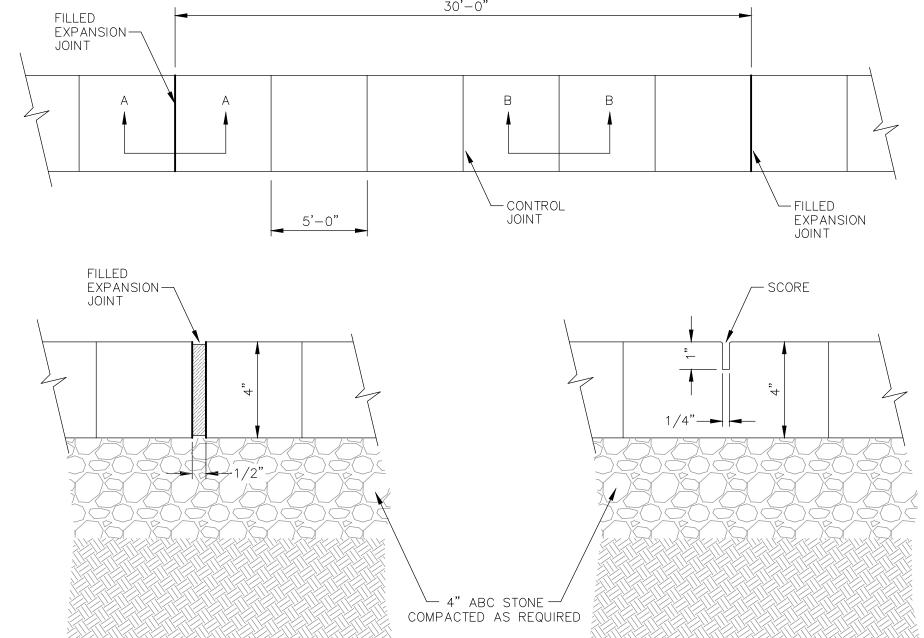
PAVEMENT REPAIRS DETAIL (SD 1-05)

PAVEMENT REPAIR NOTES

- 1. BACKFILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS,
- ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.

 2. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION,
- (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC.) 3. 8 INCH OF ABC BASE MATERIAL SHALL BE USED ON CITY STREETS.
- 4. BACKFILL AND BASE MATERIALS SHALL BE COMPACTED 12" MINIMUM LIFTS
- 5. SOIL SHALL BE COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
- 6. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE. 7. ABC BASE AND SUBBASE COMPACTED TO 98% AND BACKFILL AND EMBEDMENT COMPACTED TO 90% AS DETERMINED BY THE MODIFIED PROCTOR AASHTO METHOD T-99.
- 8. 1 FOOT CUTBACKS OF ASPHALT SHALL BE PREPARED ON UNDISTURBED SOIL. MINIMUM ASPHALT DENSITY IS 90%.

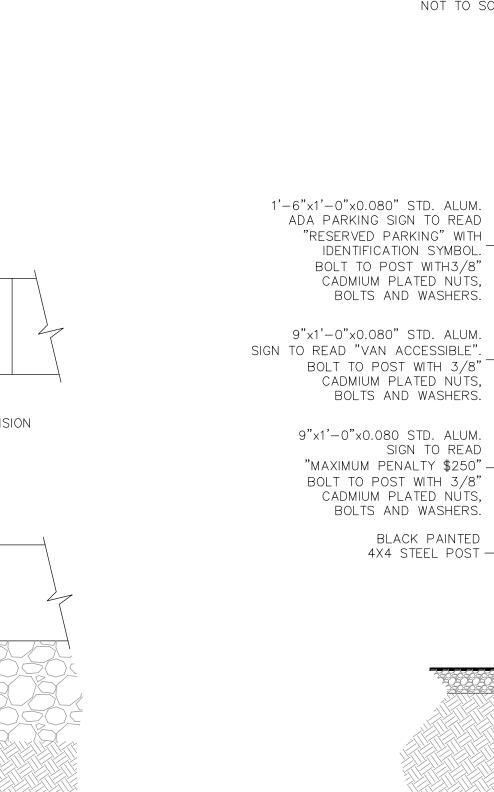
30'-0"



SIDEWALK DETAIL (SD 3-10)

SIDEWALK NOTES

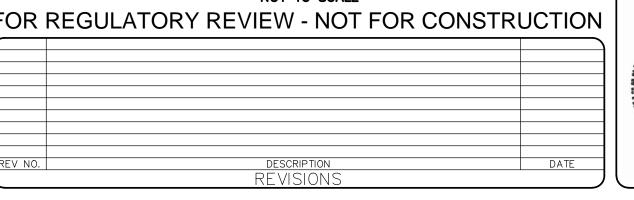
- 1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES AND
- CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAINED WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI
- MAX. CROSS SLOPE IS 2%. MAX. LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

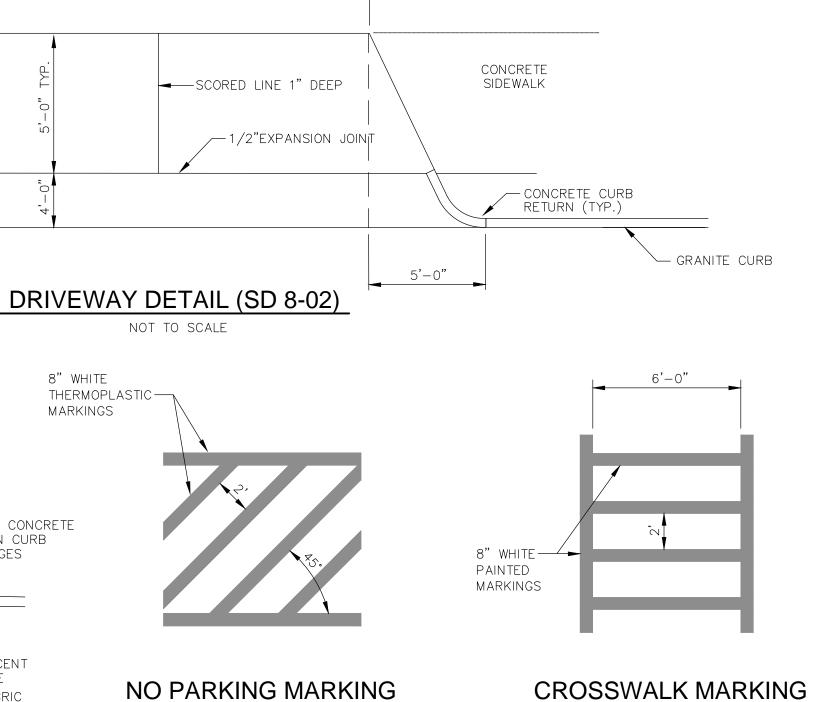


SYSTEMS

ADA PARKING SIGN DETAIL FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

18"





24'-0" MEARES STREET 14'-0" SECOND STREET

NOT TO SCALE

8"WHITE

MARKINGS

1' x 1' CONCRETE

RIBBON CURB

AT EDGES

- ADJACENT

GRADE

- GEOTEXTILE FILTER FABRIC

SCARIFY OR RIP EXISTING SUBGRADE

PRIOR TO PLACEMENT OF STONE.

CARE SHOULD BE TAKEN NOT TO

- FINISHED GRADE

COMPACT SUBGRADE.

THERMOPLASTIC-

PERVIOUS CONCRETE SECTION

SIGN TO READ

BLACK PAINTED

PROPERTY LINE

CONCRETE

SIDEWALK

13'-0"

3' RADIUS─

GRANITE CURB —

-PERVIOUS CONCRETE - DEPTH OF CONCRETE

NOTE: TO ACHIEVE PERVIOUS CREDITS FROM

NCDENR, INSTALLATION AND SITE CONDITIONS

AS SPECIFIED IN THE REVISED NCDENR BMP

MUST CONFORM TO ALL KEY DESIGN CRITERIA

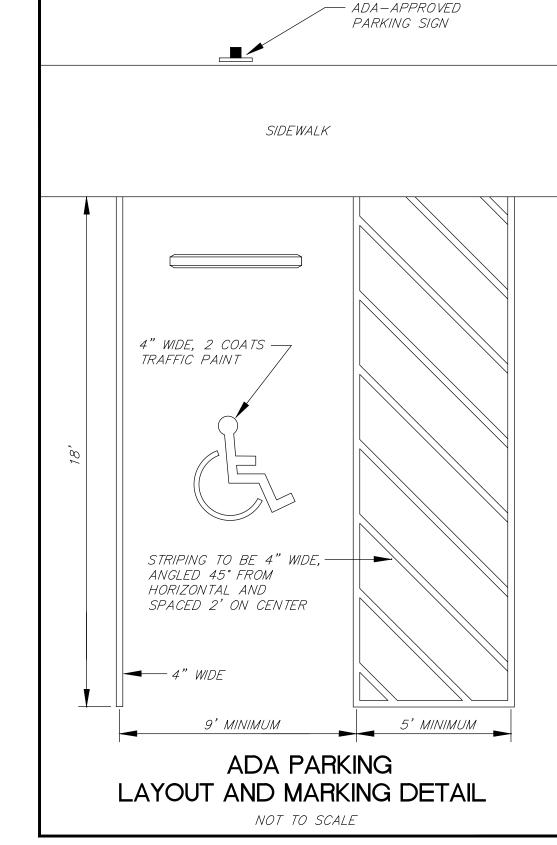
MANUAL - CHAPTER 18 PERMEABLE PAVEMENT

TO BE 6 INCHES THICK AS PER ACI 522R-10).

-7 INCHES OF WASHED #57 STONE

(OR EQUAL), TO ACHIEVE THE MAXIMUM

PERVIOUS CREDITS OFFERED BY NCDENR.

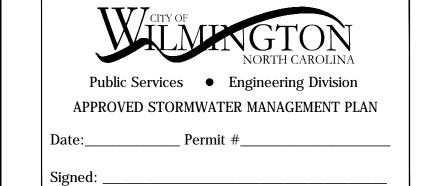


101 MEARES STREET 2-9-16 FRONT STREET STORAGE SHOWN NORTH CAROLINA NEW HANOVER WILMINGTON NNC DETAILS Checked: WSL Project No: DB0115 PE 023917 RIGHT ANGLE ZENGINEERING, P.C.

212 PRINCESS STREET WILMINGTON, NC 28401

(910) 251-8544 FAX (910) 251-2208

Sheet No:



WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.

AFTER EVERY RAIN EVENT.

OR TURBID DISCHARGES DAILY.

LAND DISTURBING ACTIVITY.

THROUGHOUT CONSTRUCTION.

SITE SURVEY BY MCKIM&CREED.

CONTROL DEVICES (MUTCD).

SEDIMENT FROM THE SITE.

STABILIZE INFILTRATION AREAS.

PRIOR TO BEGINNING CONSTRUCTION.

A PARKED VEHICLE.

CONSTRUCTION SCHEDULE

OR IS DAMAGED.

GENERAL NOTES

PARKING NOTES

2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT

3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK

THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH

4. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN

WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES

OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED,

WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.

DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN

SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT

POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM

AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND

IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS

SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND

IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF

IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED

STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE FIRST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN. 6. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY AND

5. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN

MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO

7. FLOCCOLENTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS

MAINTAIN A VIGOROUS, DENSE, VEGETATIVE COVER.

1. CONTRACTOR SHALL CONTACT THE N.C. ONE CALL CENTER

2. CONTRACTOR SOLELY RESPONSIBLE FOR COORDINATION

4. NO WETLANDS EXIST WITHIN THE PROJECT SITE.

3. ALL TREES TO BE SAVED MUST BE PROPERLY PROTECTED

TO LOCATE EXISTING UTILITIES AT THE SITE PRIOR TO ANY

WITH EXISTING UTILITIES AND ANY DAMAGE THAT OCCURS.

5. TOPOGRAPHIC AND LOCATION INFORMATION SHOWN BASED ON

1. WHEEL STOPS SHALL BE REQUIRED 2.5 FEET FROM THE END

2. ALL PARKING STALL MARKINGS AND LANE ARROWS SHALL

3. ALL OTHER PAVEMENT MARKINGS, SIGNS OR OTHER TRAFFIC

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.

4. BEFORE CLEARING AND GRADING OF SITE, INSTALL SILT

NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.

9. AFTER THE ENTIRE COVERED AREA IS STABILIZED, ALL

VEGETATIVE REPAIRS SHOULD BE COMPLETED.

10. FLUSH ALL PIPING OF ACCUMULATED SEDIMENT

HOLD PRE-CONSTRUCTION MEETING AT LEAST ONE WEEK

INSTALL/MAINTAIN TEMPORARY CONSTRUCTION ENTRANCE/EXIT.

FENCING AT THE BASE OF SLOPES TO RESTRICT MOVEMENT OF

BEGIN CLEARING AND GRADING OF THE SITE. INSTALL AND

INSTALL STORM PIPING, CATCH BASINS AND CURB INLETS.
INSTALL INLET PROTECTION FOR CATCH BASINS AND CURB

INLETS TO RESTRICT MOVEMENT OF SEDIMENT FROM THE SITE. 8. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE

INSPECTED BI-WEEKLY AND AFTER EACH RAINFALL EVENT. ANY

CLEAN OUT INFILTRATION BASIN AND EXCAVATE TO FINAL DESIGN

TEMPORARY MEASURES WILL BE REMOVED AND PERMANENT

ELEVATION. ESTABLISH PERMANENT VEGETATION IN BASIN.

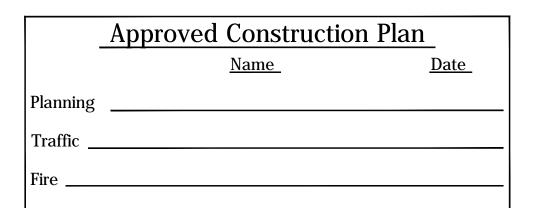
OF PARKING STALL WHEN USING EIGHTEEN FEET DEEP STALLS.

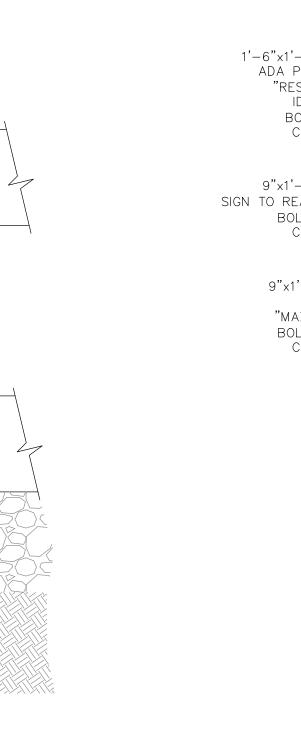
CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION AND/OR INTERPRETATION OF THE MANUAL ON UNIFORM TRAFFIC

NO OBSTRUCTIONS WILL BE ALLOWED ADJACENT TO A PARKING STALL WHICH WOULD PREVENT SAFE INGRESS AND EGRESS FROM

WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS

NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE

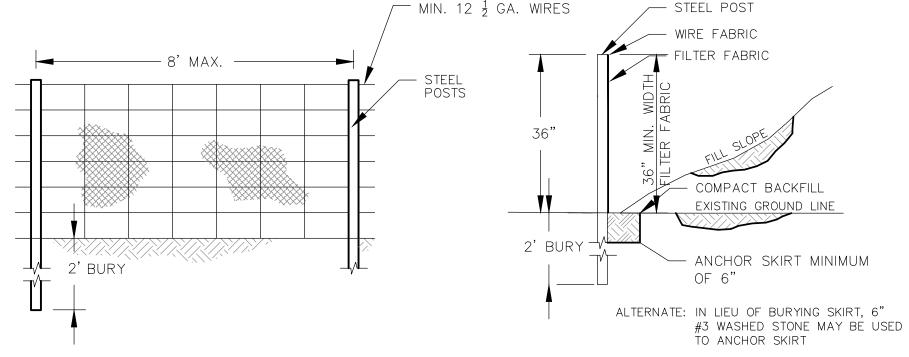




VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE. MINIMUM SIDEWALK WIDTH TO BE 6' IF PLACED AT BACK OF CURB.

MINIMUM REPLACEMENT FOR REPAIRS IS A 5' x 5' PANEL. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12". MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1

MIN. GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION.



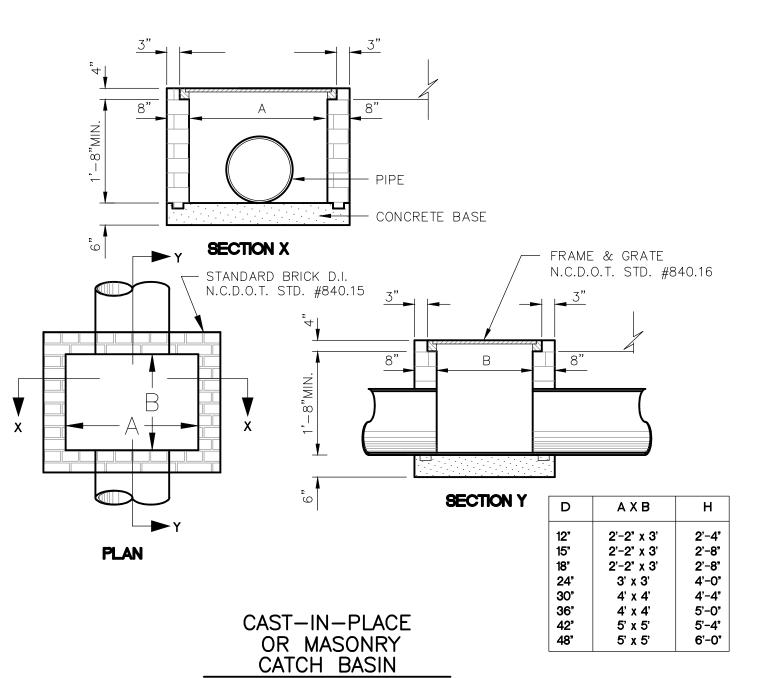
GENERAL NOTES: FENCE FABRIC SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING. FILTER FABRIC SHALL BE MIRAFI 100 OR EQUIVALENT AND SHALL BE A MINIMUM OF 36" IN WIDTH. BURLAP CAN NOT BE USED WHERE SILT FENCE IS TO REMAIN FOR

A PERIOD OF MORE THAN 30 DAYS. STEEL POSTS SHALL BE 3'-0" IN HIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE. SILT FENCES SHALL BE INSTALLED AROUND ALL CATCH BASINS. SILT FENCES SHALL BE PROVIDED AS NECESSARY TO PREVENT GRADE, PREPARED AND SEEDED. EXCESSIVE EROSION.

MAINTENANCE NOTES:

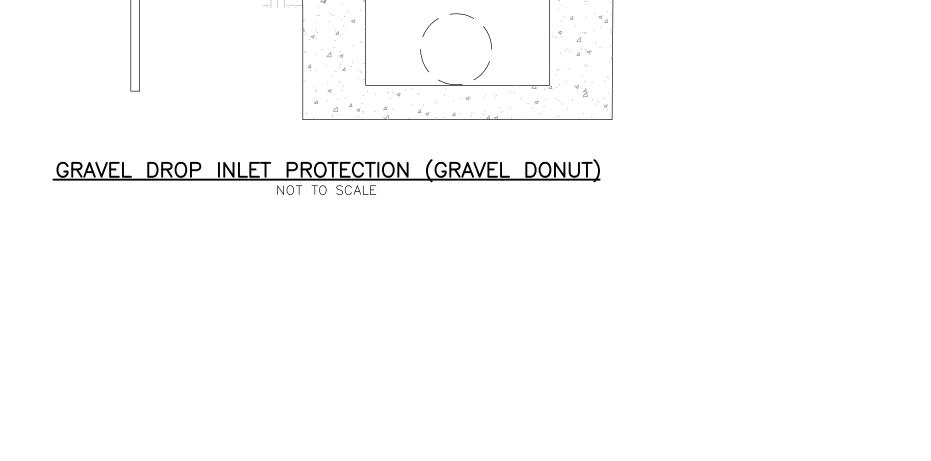
FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO HTE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER

TEMPORARY SILT FENCE



NOT TO SCALE

- General Notes: Precast Catch Basins 1. Precast concrete structures shall be in accordance with NCDOT section 1077 for "precast concrete units" of the most recent "Standards Specifications for Roads and Structures" And ASTM-C-913 for "Reinforced Concrete Water and Wastewater Structures".
- 2. Concrete compressive strength shall be 4000 PSI Minimum and shall meet the requirements as specified in NCDOT section 1077.
- 3. Reinforcing steel shall be of deformed steel bars conforming to the requirements of ASTM—A—615, grade 60, or welded wire fabric conforming to the requirement of ASTM—A—82 or both.
- Reinforcing steel design shall be according to C-890-78 for H-20-44 Loading.
- 5. Steps required on structures over 42" deep shall be on steel reinforced copolymer polypropylene plastic.
- 6. Section joints shall be sealed with butyl rubber sealant or NCDOT approved mortar at the option of the contractor.
- 7. Pipe connections shall be sealed with approved mortar. NCDOT approved brick may be used in conjunction with mortar at the contractors option.
- 8. Lift holes shall be located as required for handling and sealed after installation with NCDOT approved mortar.



-WIRE MESH (OPTIONAL)

CATCH BASIN

-19-GAUGE HARDWARE CLOTH (1/4 MESH OPENINGS)

(TYP.)

_3" STONE

____3:1 SLOPE

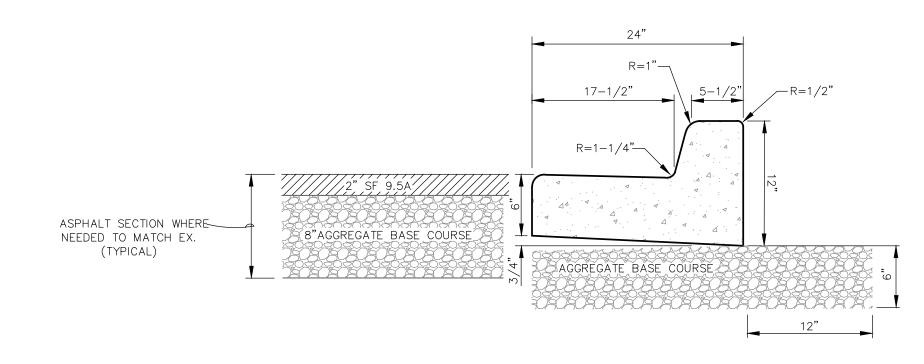
5 FOOT STEEL POSTS DRIVE 24" INTO GROUND MAXIMUM 4 FOOT SEPARATION

FINE GRAVEL FACE

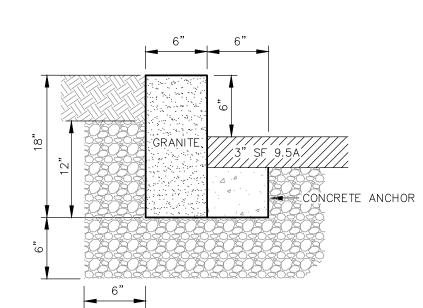
(1' MIN. THICKNESS)

<u>2' MIN.</u>

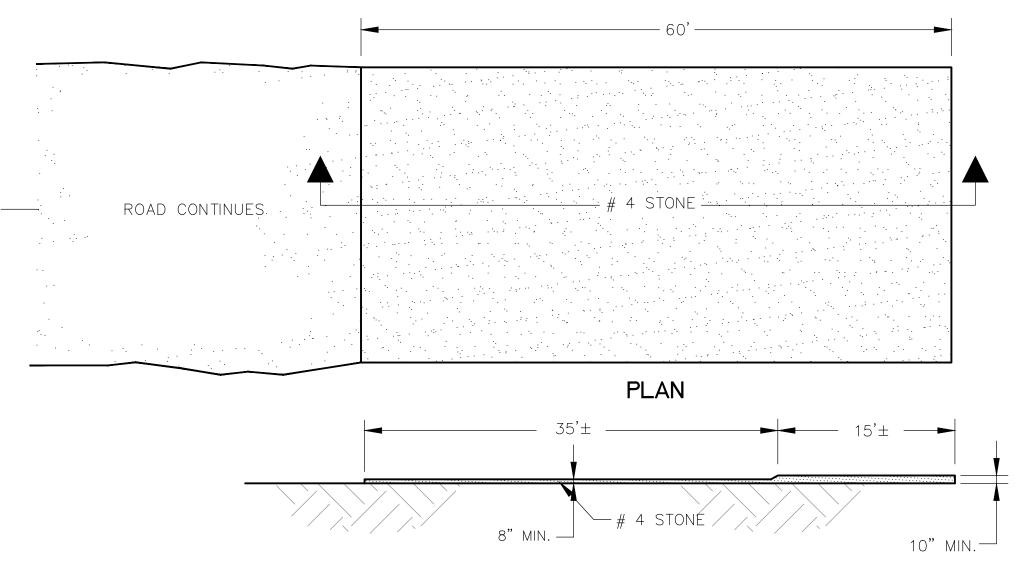
2:1 SLOPE -



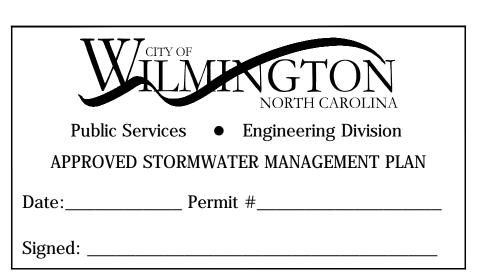
CONCRETE CURB AND GUTTER (SD 3-11)



GRANITE CURB (SD 3-11)



SECTION TEMPORARY CONSTRUCTION ENTRANCE SCALE: 1"=10'



	Approved Construction	<u>Plan</u>
	<u>Name</u>	<u>Date</u>
Planning		
Traffic _		
Fire		
		_

TEMPORARY SEEDING

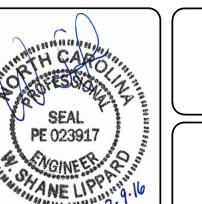
GRASS TYPE	AMOUNT/1000 SF	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF MAINTENANCE		
RYE GRAIN	1-2 LBS	NOV. THRU JAN.	25 LBS 10-10-10	N/A	N/A	N/A
BROWN TOP MILLET	1-2 LBS	JUNE THRU AUG.	25 LBS 10-10-10	N/A	N/A	N/A

PERMANENT SEEDING

GRASS TYPE	AMOUNT/1000 SF	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF MAINTENANCE		
BERMUDA, COMMON	1-2 LBS	APR. THRU JUNE	25 LBS 10-10-10	MARCH-APRIL 12 LBS 10-10-10		AUG- SEPT 12 LBS 10-10-10
FESCUE, TALL (KENTUCKY 31)	5-7 LBS	SEPT THRU OCT FEB THRU OCT	25 LBS 10-10-10	FEB - MARCH 12 LBS 10-10-10	MAY & DEC 1/2 TO 1 LB. N.	SEPT - OCT 12 LBS 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS	MARCH THRU APR.	25 LBS 10-10-10	FEB - MARCH	1/2 TO 1 LB. N	. N/A

101 MEARES STREET FRONT STREET STORAGE NORTH CAROLINA NEW HANOVER WILMINGTON

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION



DETAILS

WSL Project No: DB0115 Sheet No:

RIGHT ANGLE

ENGINEERING, P.C. WILMINGTON, NC 28401 (910) 251-8544 FAX (910) 251-2208

2-9-16

SHOWN

NNC

Darryl

Barker

Architect PA

1912 HAWTHORNE ROAD WILMINGTON, NC 29403 (910) 471-3802 drbarker61@yahoo.com

FRONT STREET STORAGE

DARRYL BARKER ARCHITECT PA

A-1.01 COVER SHEET A-1.02 SITE LAY-OUT/PROPOSED LANDSCAPE PLAN A-1.03 STREET ELEVATIONS

RIGHT ANGLE ENGINEERING

C-1 EXISTING CONDITIONS & DEMOLITION PLAN

C-2 SITE PLAN

C-3 GRADING PLAN

D-1 SITE DETAILS

D-2 SITE DETAILS

	Approved Construction Plan		
	Name Date		
	Planning		
	Traffic		
	Fire		
-	Public Services Engineering Division APPROVED COVER SHEET		
	Date: Permit #		

INITIAL DATE: 08-06-15

COMPLETED DATE: 02-08-16

DRAWN BY: DB

CHECKED BY: DB

REVISIONS:

DRAWING: COVER SHEET

SHEET NO.:

A-1.01

