

**STORMWATER MANAGEMENT PLAN**  
**APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

Approved Construction Plan	
Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

**EXISTING TREE LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN NOTE #1 ARBORIST TO DETERMINE CONDITION OF TREE & MAKE RECOMMENDATION ON SAVING OR REMOVAL BASED ON TRC COMMENT

**PROJECT PHASING**

PHASE I - PHASE I WILL INCLUDE BUILDINGS A, B, C AND ALL PARKING. THE REQUIRED STORM WATER POND WILL ALSO BE BUILT IN PHASE I. THE EXISTING RESIDENTIAL STRUCTURE WILL BE LEASED AS A SMALL PROFESSIONAL OFFICE OR WILL BE USED AS VET BUILDING UNTIL PHASE II TAKES PLACE. AT WHICH TIME BUILDING C WILL BE DEMOLISHED OR GIVEN AWAY FOR RELOCATION TO MAKE ROOM FOR CONSTRUCTION OF BUILDING D.

PHASE II - BUILDING D WILL BE CONSTRUCTED WITHIN 3 YEARS OF CO BEING ISSUED ON CONSTRUCTION OF BUILDING B. NEW VET BUILDING, IF OWNER IS NOT ABLE TO MOVE FORWARD WITH CONSTRUCTION OF BUILDING D WITHIN THIS TIME FRAME THEY WILL BE ABLE TO REQUEST AN ADDITIONAL 3 YEAR EXTENSION TO CONSTRUCT BUILDING D.

**LEGEND**

- PROPERTY LINE
- EASEMENT
- PROPOSED WATER
- PROPOSED SEWER
- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE
- RUNOFF DIRECTION
- SPOT ELEVATION
- ENERGY DISSIPATER
- LANDSCAPING
- EXISTING SPOT GRADE
- HYDRANT
- POWER POLE

**SITE DATA**

PIN NUMBERS: R04820-005-001-000, R04820-005-004-000, R04820-005-003-000, R04820-005-002-000  
 ZONING: O & I (CD)  
 BUILDING SETBACKS: URBAN SEE SHEET L-1

TOTAL ACREAGE IN PROJECT BOUNDARY: 77.733 S.F. (1.78 AC.)

**BUILDING SIZE IN SQUARE FEET**

EXISTING VET BUILDING "A"	1,209 S.F. FOOTPRINT
PROPOSED VET BUILDING "B"	5,131 S.F. FOOTPRINT
EXISTING HOUSE (PHASE I) "C"	1,593 S.F. FOOTPRINT (PHASE I USE)
PROFESSIONAL OFFICE/VET USE	
PROPOSED VET BUILDING "D" (PHASE II)	5,200 S.F. FOOTPRINT
(BLDG. C DEMOLISHED OR MOVED FOR PHASE II)	
SHED "E"	343 S.F. FOOTPRINT
(RELOCATED TO ACCOMMODATE POND)	
POLE BARN "F"	939 S.F. FOOTPRINT STORAGE
SHED "G"	236 S.F. FOOTPRINT STORAGE

**CALCULATION FOR BUILDING COVERAGE**

EXISTING COVERAGE (ALL BUILDINGS)	4,300 S.F. + 77,733 S.F. = 5.5%
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**TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT**

BEFORE DEVELOPMENT	
BUILDINGS	4,302 S.F.
SIDEWALKS / PORCH	827 S.F.
DRIVEWAYS	1,527 S.F.
TOTAL	6,656 S.F. + 77,733 S.F. = 8.5%
AFTER DEVELOPMENT	
BUILDINGS	13,040 S.F.
SIDEWALKS / PORCH	5,482 S.F.
DRIVEWAYS	17,813 S.F.
TOTAL	36,335 S.F. + 77,733 S.F. = 46.7%

**PARKING REQUIRED**

BLDG. A VETERINARY USE (1,680 S.F. + 250 G.S.F.)	=	7 SPACES
BLDG. B VETERINARY USE (7,231 S.F. + 250 G.S.F.)	=	29 SPACES
BLDG. D PROFESSIONAL USE OR VET (5,200 S.F. + 300 G.S.F.)	=	17 SPACES
TOTAL PARKING REQUIRED		53 SPACES

**PARKING PROVIDED**

BLDG. A	7 SPACES
BLDG. B	31 SPACES
BLDG. D	18 SPACES
TOTAL PARKING PROVIDED	56 SPACES

**ALL CURB & GUTTER AROUND LANDSCAPED ISLANDS TO BE 6" CURB**  
**ALL CURB & GUTTER AROUND PARKING BACKS SHALL HAVE 4" TALL CURB**

**WATER AND SEWER CAPACITY:**

WATER USAGE	250 GPD EXISTING	1,250 GPD PROPOSED
SEWER USAGE	250 GPD EXISTING	1,250 GPD PROPOSED

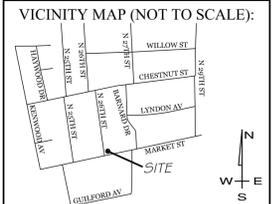
**NOTES:**

- EXISTING WATER AND SEWER LINES ARE PART OF CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA)
- ALL UTILITIES WILL BE UNDERGROUND
- OFF SITE STORM DRAINAGE FACILITIES CITY OF WILMINGTON
- SOLID WASTE WILL BE HANDLED BY ROLL OUT CONTAINERS
- ALL EXISTING FENCE TO BE REMOVED UNLESS NOTED TO REMAIN. REPLACE WOOD FENCING BOARDS AS NEEDED. SEE SHEET L-1.

- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
  - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
  - PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP. COMMUNITY-PANEL NUMBER 37202146 J. DATED 04/06/06
  - ELEVATIONS SHOWN PROVIDED BY "NAVD 88" BENCH MARK
  - THE 10' STORMWATER POND MAINTENANCE EASEMENT ENCLOSED INTO THE 20' BUFFER YARD 5'. INSTALL THE BUFFER YARD LANDSCAPING IN FIRST 15' OF THE BUFFER.

- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS. EXISTING MAINS ARE SHOWN PER CFPUA GIS.
  - ALL UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
  - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPUA TECHNICAL SPECIFICATIONS & STANDARDS.
  - PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCHOR OR ASSE.
  - WATER & SEWER SERVICES CAN NOT BE ACTIVATED ON NEW MAINS UNTIL THE ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY THE PUBLIC WATER SUPPLY SECTOR OF NCDENR, AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY SECTION OF NCDENR.
  - IF CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - WHEN PVC WATER MAINS AND SERVICES ARE EXISTING, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
  - THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
  - THE PROCESS FOR TELEPHONE CABLE PLACEMENT: \* FINAL GRADE WILL NEED TO BE ESTABLISHED. \* POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 2' DEEP. \* BELL SOUTH & CABLE TV WILL THEN PLACE THEIR CABLE. AT APPROXIMATELY 2' DEEP.
  - SOLID WASTE DISPOSAL IS TO BE ROLL OUT CONTAINERS.

- TRAFFIC NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
  - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
  - CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. ADD A NOTE TO CALL TRAFFIC ENGINEERING A MIN. OF FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE R/W.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS. THE LANDSCAPING PLAN WILL BE NEEDED TO DETERMINE STREET LIGHT LOCATIONS.
  - TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
  - A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE TRAFFIC ENGINEERING DIVISION, PLANNING DIVISION AND PARKS & RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN. PLAN SHALL ADHERE TO SD 15-17.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.



**REVISIONS**

NO.	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**

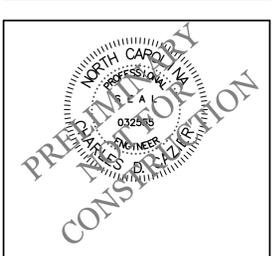
91 Pelican Point Road  
 Wilmington, North Carolina 28409  
 Phone: 910.409.3567  
 Email: Charlie@intracoastalengineering.com  
 License Number P-0662

**SITE, GRADING, UTILITY & STORMWATER PLAN**

FOR

**FOREST HILLS VETERINARY HOSPITAL**

WILMINGTON, NORTH CAROLINA



**CLIENT INFORMATION:**

PAUL M. GIGLIOTTI, D.V.M.  
 8 NORTH 26TH STREET  
 WILMINGTON, NC 28405  
 910-362-9955

DRAWN:	GCD	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	10/10/2014
APPROVED:	CDC	SCALE:	1" = 30'
PROJECT NUMBER:	2014-025		

DRAWING NUMBER: **C-1**  
 1 OF 5

### LATE WINTER & EARLY SPRING TEMPORARY GRASSING DETAIL

**SEEDING MIXTURE**

**SPECIES**

- Rye (grain)
- Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)

Omit annual Lespedeza when duration of temporary cover is not to extend beyond June.

**SEEDING DATES:**

- Mountains - Above 2500 ft: Feb. 15-May 15
- Below 2500 ft: Feb. 1-May 1
- Piedmont - Jan. 1-May 1
- Coastal Plain - Dec. 1-Apr. 15

**SOIL AMENDMENTS**

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

**MULCH**

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

Referfertilize if growth is not fully adequate. Reseed, referfertilize and mulch immediately following erosion or other damage.

### TEMPORARY SUMMER GRASSING DETAIL

**SEEDING MIXTURE**

**SPECIES**

GERMAN MILLET

**RATE (lb/acre)**

40

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.

**SEEDING NOTES**

- MOUNTAINS - MAY 15-AUG. 15
- PIEDMONT - MAY 1-AUG. 15
- COASTAL PLAN - APR. 15-AUG. 15

**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

REFERFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

### TEMPORARY FALL GRASSING DETAIL

**SEEDING MIXTURE**

**SPECIES**

Rye (grain)

**RATE (lb/acre)**

120

**SEEDING NOTES**

- MOUNTAINS - AUG. 15-DEC. 15
- COASTAL PLAN and PIEDMONT - AUG. 15-DEC. 30

**SOIL AMENDMENTS**

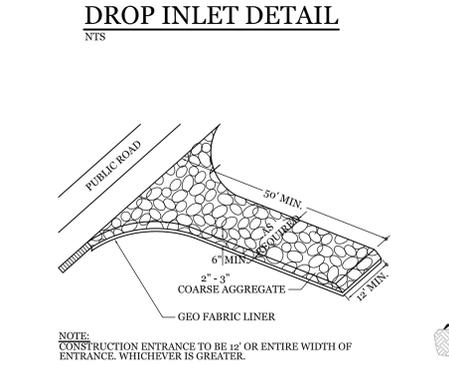
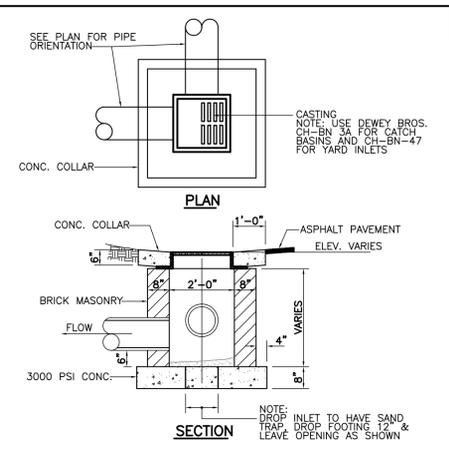
FOLLOW SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

Repair and referfertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) Lespedeza in late February or early March.



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

NTS

**SD 8-15**

NTS

### SPRING-SUMMER PERMANENT GRASSING DETAIL

**SEEDING MIXTURE**

**SPECIES**

- PENSACOLA BAHAGRASS
- SERICA LESPEDEZA
- COMMON BERMU DAGRASS
- GERMAN MILLET
- TALL FESCUE

**RATE (lb/acre)**

50  
30  
10  
10  
50

**SEEDING NOTES**

- WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICA.
- USE COMMON BERMU DAGRASS ONLY ON ISOLATED SITES WHERE IT CANNOT BECOME A PEST. BERMU DAGRASS MAY BE REPLACED WITH 5 lb/acre CENTIPEDEGRASS.

**SEEDING DATES**

APRIL 1 - JULY 15

**SOIL AMENDMENTS**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 lb/acre GROUND AGRICULTURE LIMESTONE AND 500 lb/acre 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 lb/acre GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH, ANCHOR BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

REFERFERTILIZE THE FOLLOWING APRIL WITH 50 lb/acre NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOWED ONLY ONCE A YEAR, WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICA AND MOW AS OFTEN AS NEEDED.

### FALL-WINTER PERMANENT GRASSING DETAIL

**SEEDING MIXTURE**

**SPECIES**

- TALL FESCUE (BLEND OF TWO OR THREE IMPROVED VARIETIES)
- RYE (GRAIN)

**RATE (lb/acre)**

200  
25

**SEEDING DATES**

JANUARY - APRIL  
AUGUST - DECEMBER

**SOIL AMENDMENTS**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lb/acre GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lb/acre 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 lb/acre GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

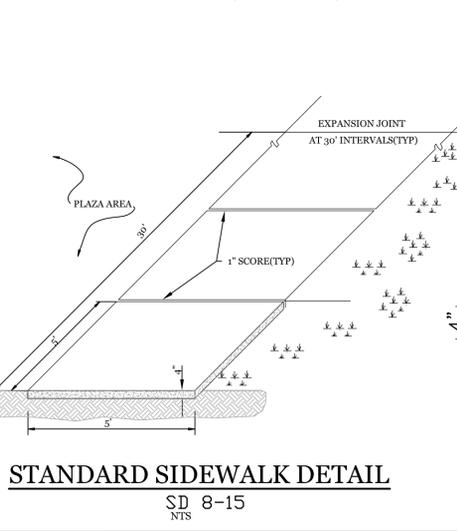
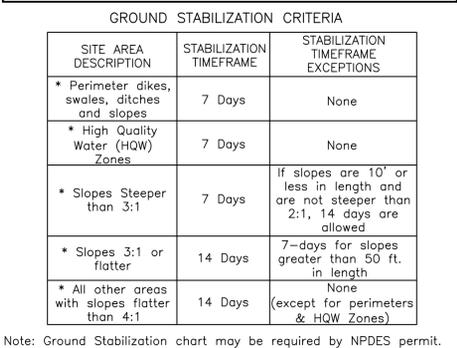
**MAINTENANCE**

FERTILIZE ACCORDING TO SOIL TESTS OR APPLY 40 lb/acre NITROGEN IN JANUARY OR FEBRUARY, 40 lb/acre IN SEPTEMBER AND 40 lb/acre IN NOVEMBER, FROM 12-4-8, 16-4-8, OR SIMILAR TURF FERTILIZER. AVOID FERTILIZER APPLICATIONS DURING WARM WEATHER, AS THIS INCREASES STAND LOSSES TO DISEASE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY. MOW TO A HEIGHT OF 2.5-3.5 INCHES AS NEEDED.

**GROUND STABILIZATION CRITERIA**

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
* Perimeter dikes, swales, ditches and slopes	7 Days	None
* High Quality Water (HQW) Zones	7 Days	None
* Slopes Steeper than 3:1	7 Days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
* Slopes 3:1 or flatter	14 Days	7-days for slopes greater than 50 ft. in length
* All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters & HQW Zones)

Note: Ground Stabilization chart may be required by NPDES permit.

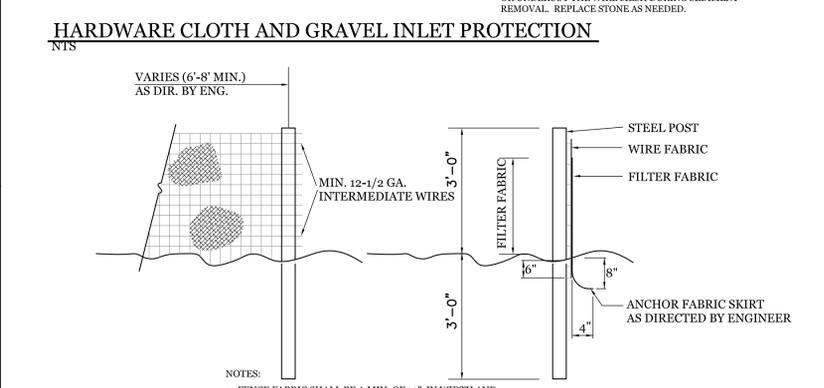
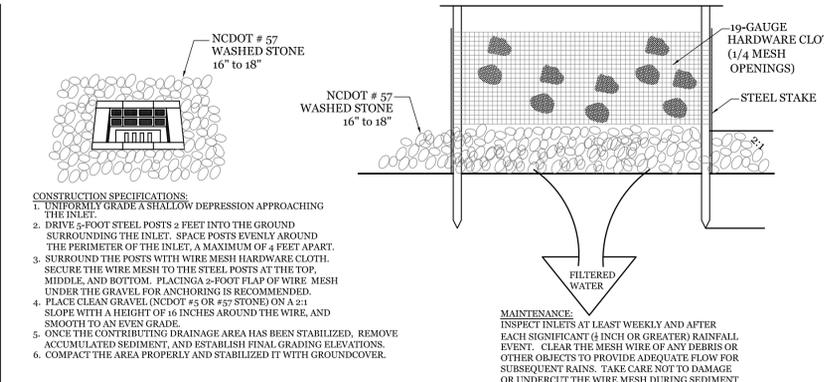


**STANDARD SIDEWALK DETAIL**

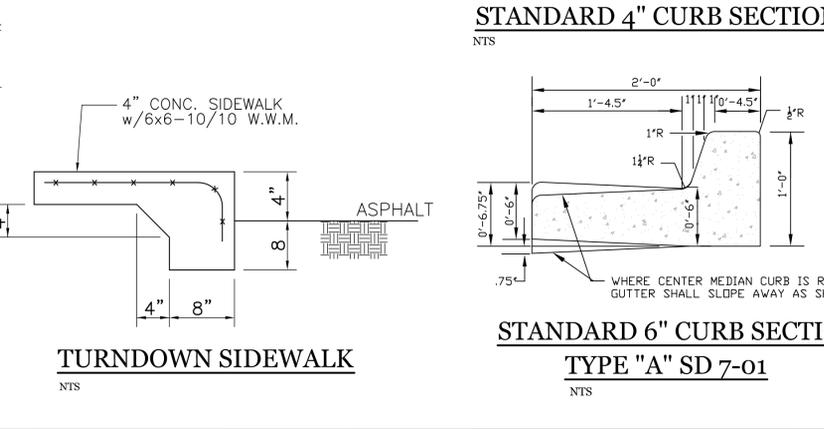
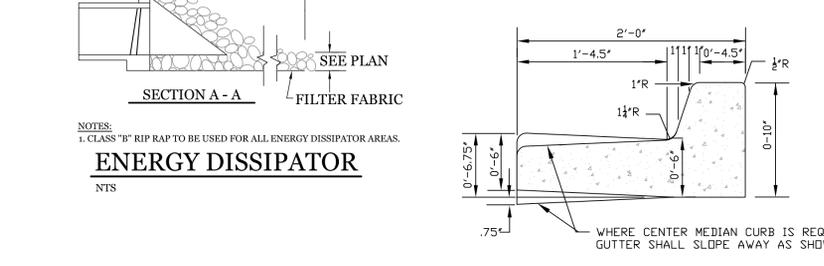
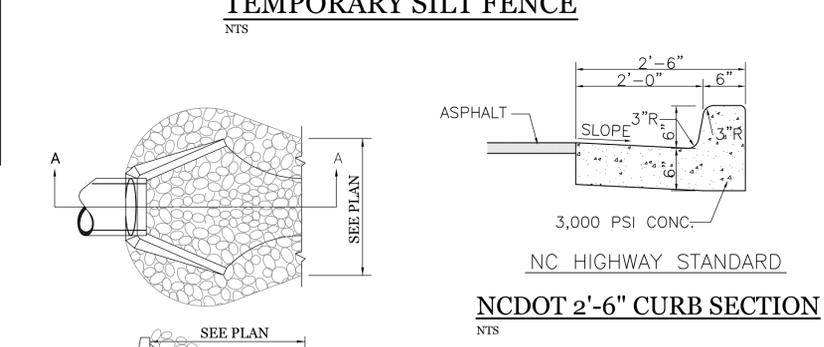
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**SD 8-15**

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- NOTES:**
- FENCE FABRIC SHALL BE A MIN. OF 32" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
  - FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
  - STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.



**TEMPORARY SILT FENCE**

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**ENERGY DISSIPATOR**

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**STANDARD 4" CURB SECTION**

NTS

**STANDARD 6" CURB SECTION**

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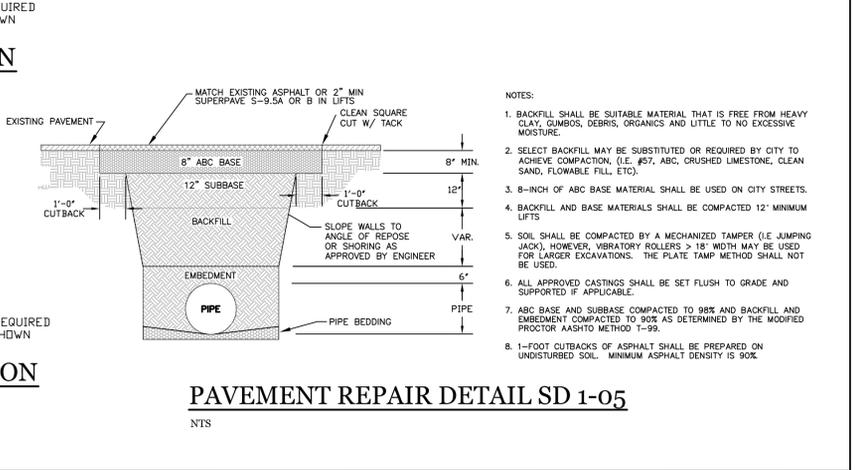
**TYPE "A" SD 7-01**

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- SITE WORK NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
  - CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
  - GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
  - MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
  - DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
  - FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
  - THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
  - THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
  - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
  - NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
  - CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
  - EXISTING SURVEYING PERFORMED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA AND PROVIDED BY THE OWNER.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
  - THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT INFORMATION TO CONSTRUCT THIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
  - ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPPUA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
  - ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
  - ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
  - CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
  - FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
  - ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY. ALL FEDERAL, STATE AND LOCAL PERMITS ARE REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES, BUT IS NOT LIMITED TO: STATE STORMWATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.
  - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

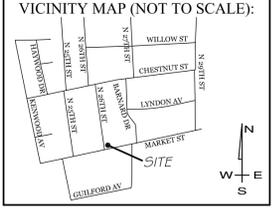
- CONSTRUCTION SEQUENCE:**
- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, TREES SHOULD BE REMOVED IN LOCATIONS AS NECESSARY. ALL SLOPED AREAS SHOULD BE SEEDING IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
- GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAVE BEEN INSTALLED.
  - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
  - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
  - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
  - A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
  - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
  - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
  - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
  - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DROUGHT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
  - FAIRCLOTH SKIMMER TO BE ROUTINELY CHECKED FOR SEDIMENT ACCUMULATION, TRASH, AND DEBRIS CLOGGING THE WATER ENTRY ORIFICES. PULL SKIMMER TO SIDE OF BASIN AND HAND REMOVE SEDIMENT AND DEBRIS TO RESTORE FLOW TO ORIGINAL STATE.



**PAVEMENT REPAIR DETAIL SD 1-05**

NTS



**REVISIONS**

NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**

91 Pelican Point Road  
Wilmington, North Carolina 28409  
Phone: 910.409.3567  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

**DETAILS FOR FOREST HILLS VETERINARY HOSPITAL WILMINGTON, NORTH CAROLINA**

**PRELIMINARY ENGINEERING CONSULTATION**

NORTH CAROLINA PROFESSIONAL SEAL  
0325  
10/10/2014

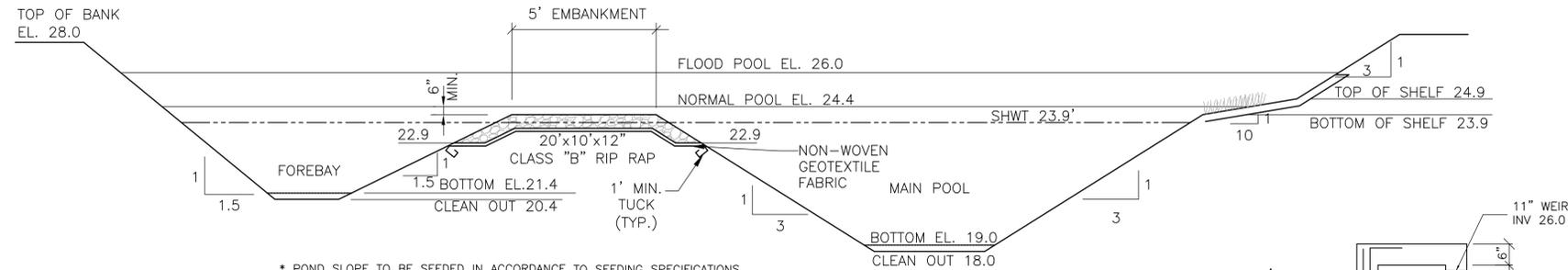
**CLIENT INFORMATION:**

PAUL M. GIGLIOTTI, D.V.M.  
8 NORTH 26TH STREET  
WILMINGTON, NC 28405  
910-362-9955

DRAWN: GCD SHEET SIZE: 24 x 36  
CHECKED: CDC DATE: 10/10/2014  
APPROVED: CDC SCALE: NTS  
PROJECT NUMBER: 2014-025

DRAWING NUMBER: **C-2**

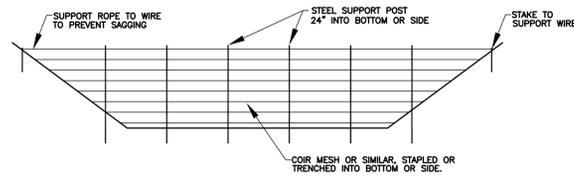
2 OF 5



- \* POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS
- \* 10:1 VEGETATED SHELF TO BE PLANTED WITH WETLAND SPECIES:  
 BOTTOM HALF OF SHELF: SOFTSTEM BULRUSH, BROADLEAF ARROWHEAD, PICKEREL WEED.  
 TOP HALF OF SHELF: SWAMP MILKWEED, JOE PYE WEED, CARDINAL FLOWER.  
 EITHER HALF OF SHELF: COMMON RUSH, WOOLGRASS
- \* VEGETATED SHELF SHALL BE PLANTED WITH PLUGS OR POTS AT 24" O.C. IN A CHECKERBOARD PATTERN.
- \* ALL LANDSCAPE MATERIAL SHOULD BE PLANTED IN GOOD TOPSOIL. IN-SITU SOIL MAY BE USED IF TILLED WITH 4" OF TOPSOIL.
- \* A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES

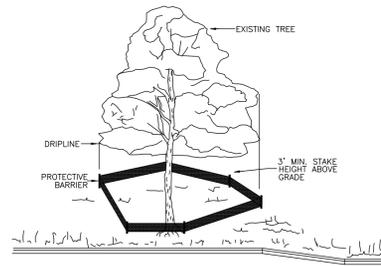
**DETENTION POND & FOREBAY SECTION**

NTS



**POROUS BAFFLE CROSS SECTION**

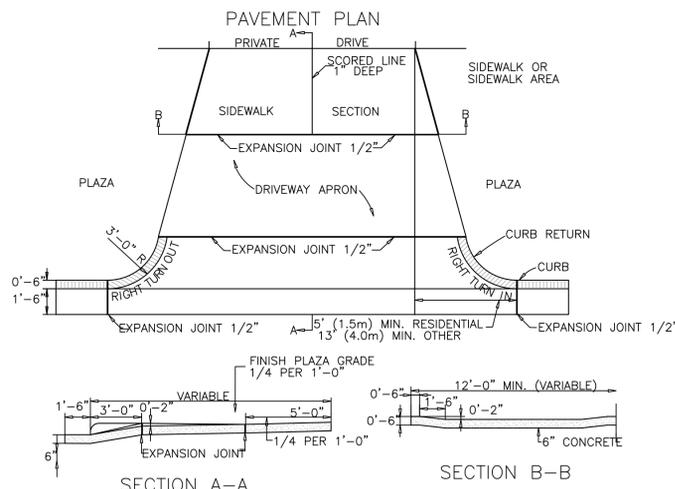
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NOTE: TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE. DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

**TREE PROTECTION DURING CONSTRUCTION**

SD 15-08  
NTS

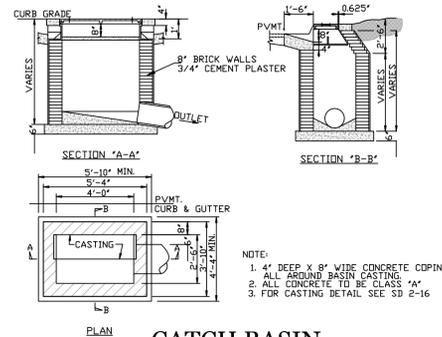


**SECTION A-A**

**SECTION B-B**

**STANDARD DRIVEWAY DETAIL SD 8-02**

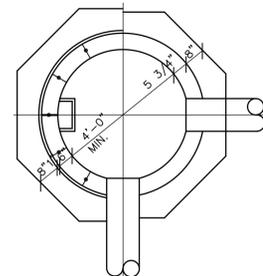
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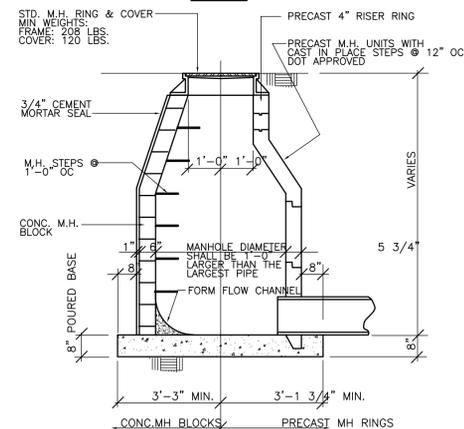
**CATCH BASIN**

NTS

- NOTE:
1. CONTRACTOR MAY USE BRICK WITH MAX. CORBEL 1" PER COURSE
  2. CONTRACTOR MAY USE ECCENTRIC M.H. UNIT



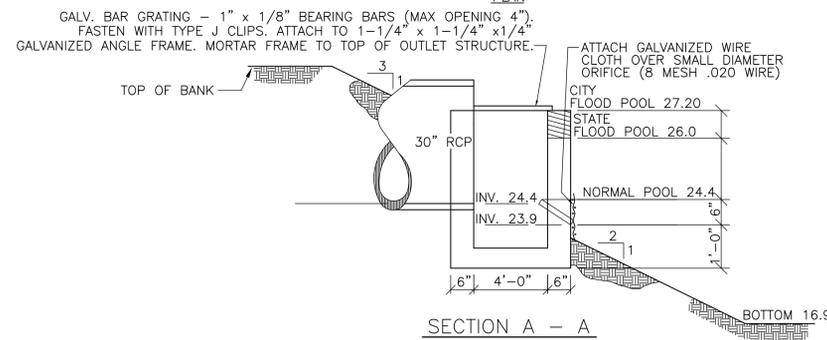
**PLAN**



**SECTION**

**STORMDRAIN MANHOLE DETAIL**

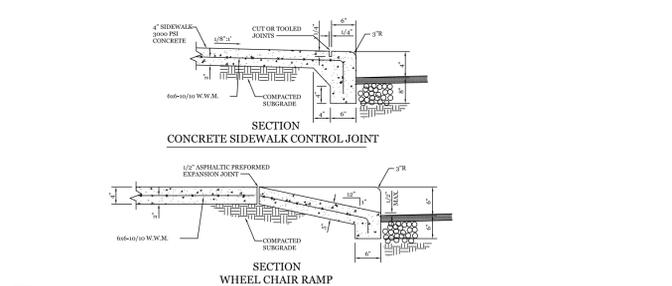
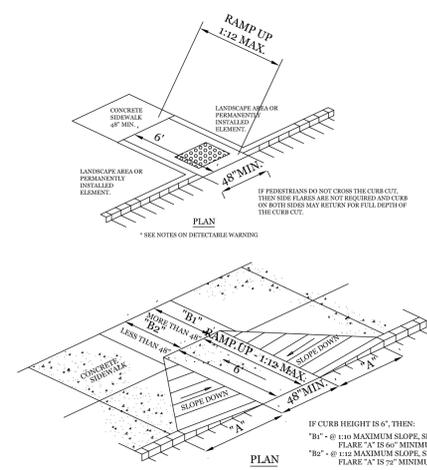
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NOTE: 11" WEIR TO BE CUT AT TIME OF SKIMMER REMOVAL.

**DETENTION POND OUTLET STRUCTURE**

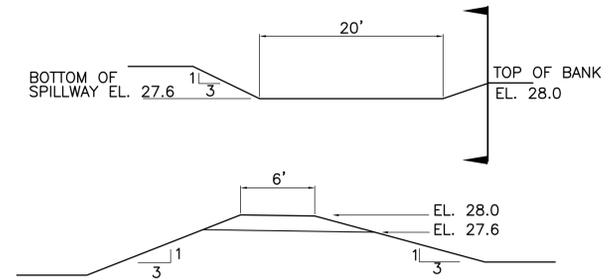
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NOTE: RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES:  
 1. The detectable warning shall extend the full width and depth of the curb ramp.  
 2. Detectable warnings shall consist of raised truncated domes with a diameter of nominal 0.9 in (23 mm), a height of nominal 0.2 in (5 mm) and a center-to-center spacing of nominal 2.25 in (57 mm) and shall contrast visually with adjoining surfaces, either light-to-dark, or dark-to-light. The material used to provide contrast should contrast by at least 70% - Refer to ADA Guidelines for definition of "contrast".  
 3. The material used to provide contrast shall be an integral part of the walking surface. Detectable warnings used on interior surfaces shall differ from adjoining walking surfaces in resiliency or sound-when-contacted.

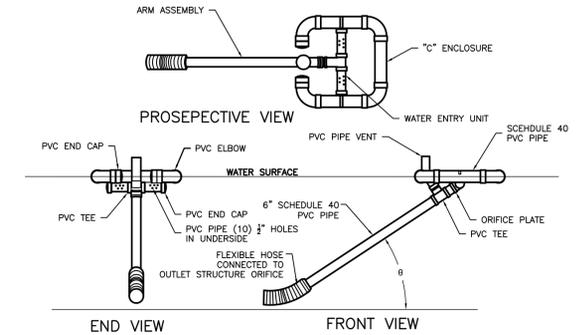
**TYPICAL SIDEWALK AND WHEEL CHAIR RAMP DETAIL**

NTS



**EMERGENCY SPILLWAY DETAIL**

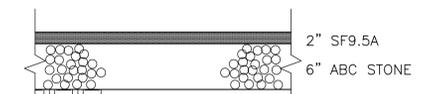
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NOTE: 1. SKIMMER TO BE USED IN WET POND AND REMOVED AFTER SITE IS PERMANENTLY STABLE.

**FAIRCLOTH SKIMMER DETAIL**

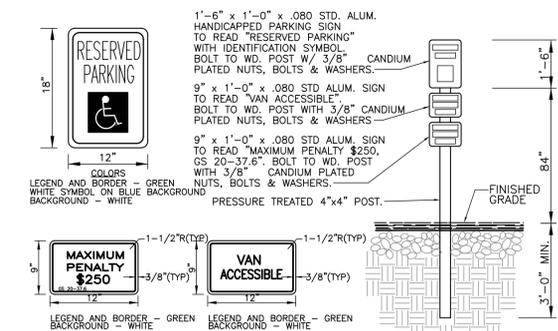
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NOTE: PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE W/ OWNER & GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.

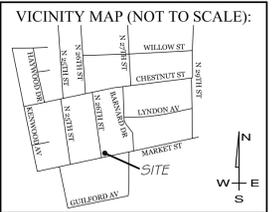
**LIGHT DUTY PAVEMENT SECTION**

NTS



**TYPICAL HANDICAPPED SIGN DETAIL**

NTS

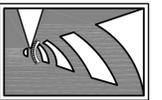


**REVISIONS**

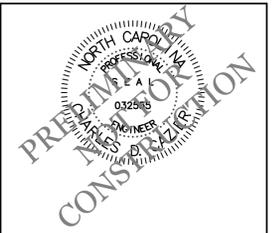
NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**

91 Pelican Point Road  
 Wilmington, North Carolina 28409  
 Phone: 910.409.3567  
 Email: Charlie@intracoastalengineering.com  
 License Number P-0662



**DETAILS FOR FOREST HILLS VETERINARY HOSPITAL**  
 WILMINGTON, NORTH CAROLINA

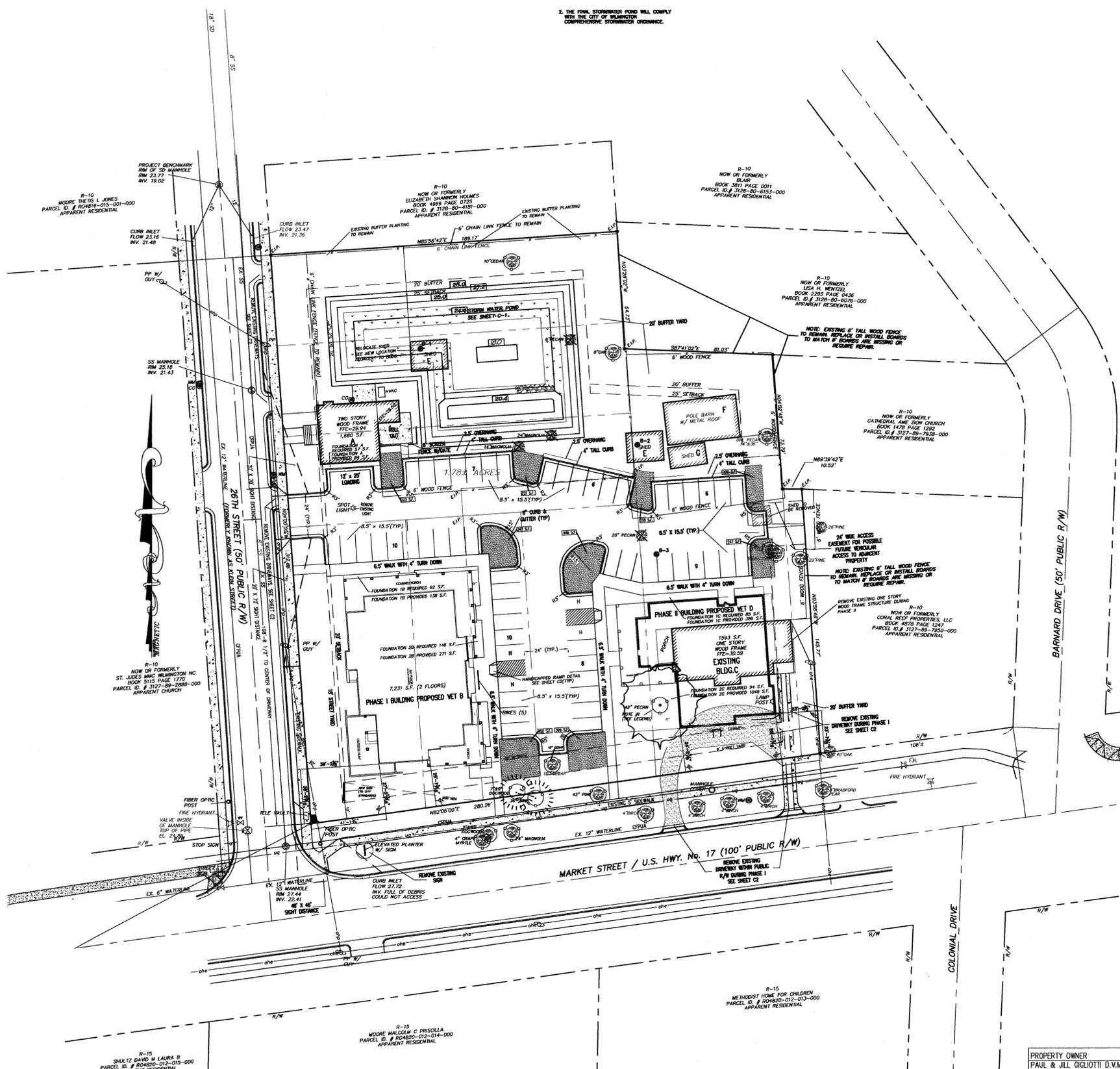


**CLIENT INFORMATION:**

PAUL M. GIGLIOTTI, D.V.M.  
 8 NORTH 26TH STREET  
 WILMINGTON, NC 28405  
 910-362-9955

DRAWN: GCD	SHEET SIZE: 24 x 36
CHECKED: CDC	DATE: 10/10/2014
APPROVED: CDC	SCALE: NTS
PROJECT NUMBER: 2014-025	

DRAWING NUMBER: **C-3**  
 3 OF 5



**SITE DATA**

**PIN NUMBERS:** R04820-005-001-000, R04820-005-004-000, R04820-005-003-000, R04820-005-002-000

**EXISTING ZONING:** SITE R-10, 26TH ST. R/W R-10, MARKET ST. R/W R-15

**PROPOSED ZONING:** O & I-1(CD) FOR SITE AND 26TH ST. & MARKET ST. R/W ADJACENT TO SITE URBAN

**CAMA LAND CLASSIFICATION**

**BUILDING SETBACKS REQUIRED**

FRONT	20'
SIDE	20'
REAR	25'

**BUILDING B SETBACKS PROPOSED (NET)(7,231 S.F.VET)**

FRONT	27' 5-13/16", 25' 7-13/16"
SIDE	39' 2-1/8"

**BUILDING D SETBACKS PROPOSED (NEW VET)(5,200 S.F.VET)**

FRONT	24' 2-7/8", 25' 1-7/16"
SIDE	23' 1/2"

**BUFFER YARD**

REAR	20'
SIDE	20'

**STREET YARD**

FRONT (26TH ST.)	18'
CORNER (MARKET ST.)	9'

**TOTAL ACREAGE IN PROJECT BOUNDARY** 77,733 S.F. (1.78 AC.)

**BUILDING SIZE IN SQUARE FEET**

EXISTING VET BUILDING "A"	1,209 S.F.	FOOTPRINT
PROPOSED VET BUILDING "B"	5,131 S.F.	FOOTPRINT
EXISTING HOUSE (PHASE I) "C"	1,593 S.F.	FOOTPRINT (PHASE I USE PROFESSIONAL OFFICE/VET USE)
PROPOSED VET BUILDING "D"(PHASE II)	5,200 S.F.	FOOTPRINT (BLDG. C DEMOLISHED OR MOVED FOR PHASE II)
SHED "E"	323 S.F.	FOOTPRINT (RELOCATED TO ACCOMMODATE POND)
POLE BARN "F"	939 S.F.	FOOTPRINT STORAGE
SHED "G"	236 S.F.	FOOTPRINT STORAGE

**CALCULATION FOR BUILDING COVERAGE**

EXISTING COVERAGE (ALL BUILDINGS) 4,300 S.F. + 77,733 S.F. = 5.5%

**NUMBER OF BUILDINGS** 6

**BUILDING HEIGHT**

EXISTING BLDG. A	25' (ESTIMATED)
PROPOSED VET B	21' 2"
PROPOSED OFFICE D	19' 4"

**NUMBER OF STORIES & SQ.FT. PER FLOOR**

EXISTING BLDG. A (2 STORY)	1ST 1,209 S.F.	2ND 471 S.F.	TOTAL 1,680 S.F.
PROPOSED VET B (2 STORY)	1ST 5,101 S.F.	2ND 2,130 S.F.	TOTAL 7,231 S.F.
PROPOSED VET D (1 STORY)	1ST 5,200 S.F.		TOTAL 5,200 S.F.

**TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT**

**BEFORE DEVELOPMENT**

BLDG. A	1,209 S.F.
BLDG. C	1,593 S.F.
SHED E	325 S.F.
POLE BARN F	935 S.F.
SHED G	240 S.F.
SIDEWALKS	551 S.F.
PORCH	276 S.F.
GRAVEL DRIVE/DRIVEWAY	1,527 S.F.
TOTAL	6,656 S.F. + 77,733 S.F. = 8.5%

**AFTER DEVELOPMENT**

BLDG. A	1,209 S.F.
PROPOSED VET B	5,131 S.F.
PROPOSED OFFICE D	5,200 S.F.
SHED E	325 S.F.
POLE BARN F	935 S.F.
SHED G	240 S.F.
SIDEWALKS	3,782 S.F.
PORCHES	1,700 S.F.
PARKING	17,813 S.F.
TOTAL	36,335 S.F. + 77,733 S.F. = 46.7%

**PARKING REQUIREMENT**

VETERINARY USE MAX. 1 PER 170 G.S.F./ MIN. 1 PER 250 G.S.F.

PROFESSIONAL OFFICE MAX. 1 PER 200 G.S.F./ MIN. 1 PER 300 G.S.F.

**PARKING REQUIRED**

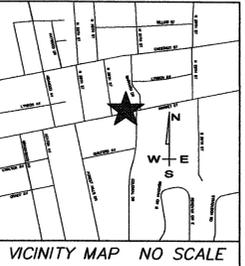
BLDG. A VETERINARY USE (1,680 S.F.+250 G.S.F.)=	7 SPACES
BLDG. B VETERINARY USE (7,231 S.F.+250 G.S.F.)=	29 SPACES
BLDG. D PROFESSIONAL USE OR VET (5,200 S.F.+300 G.S.F.)=	17 SPACES
TOTAL PARKING REQUIRED	53 SPACES

**TOTAL PARKING PROVIDED**

BLDG. A	7 SPACES
BLDG. B	31 SPACES
BLDG. D	18 SPACES
TOTAL PARKING PROVIDED	56 SPACES

**ALL CURB & GUTTER AROUND LANDSCAPED ISLANDS TO BE 6" CURB**

**ALL CURB & GUTTER ALONG PARKING BACKS SHALL HAVE 4" TALL CURB**



REVISIONS	DATE
TRC COMMENTS	11/22/10
REVISED PARKING LAYOUT	1/15/13
ADDED NOTES: 4 & 6" CURB/GUTTER	1/15/13
REVISE NOTES	6/25/13

**H T C A**

**Howard T. Capps & Associates, Inc.**  
Land Planning & Landscape Architecture

501 N. Front Street, Suite 204  
Wilmington, NC 28401  
Phone: (910) 763-7700 Fax: (910) 763-7708

**Forest Hills Veterinary Hospital**  
8 North 26th Street/2611 Market Street  
Wilmington, North Carolina

DESIGNED:	DRAWN:
H. Capps	R. Capps
DATE:	11-3-2014
SCALE:	1"=30'
JOB NO.:	401-00110
SHEET	1
OF 4 SHEETS	

**WATER AND SEWER CAPACITY NEEDS**

- WATER 250 GPD (CURRENT USE)
- WATER 1,250 GPD (PROPOSED USE)
- SEWER 250 GPD (CURRENT USE)
- SEWER 1,250 GPD (PROPOSED USE)

**NOTES:**

- PROPERTY IS SUBJECT TO MARKET STREET CORRIDOR PLAN
- WILMINGTON FUTURE LAND USE PLAN 2004-2025 SHOWS SITE AS TRANSITION TO COMMERCIAL AND/OR HIGH DENSITY RESIDENTIAL
- EXISTING WATER AND SEWER LINES ARE PART OF CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA)
- ALL UTILITIES WILL BE UNDERGROUND
- OFF SITE STORM DRAINAGE FACILITIES CITY OF WILMINGTON
- SOLID WASTE WILL BE HANDLED BY ROLL OUT CONTAINERS
- ALL EXISTING FENCE TO BE REMOVED UNLESS NOTED TO REMAIN. REPLACE WOOD FENCING BOARDS AS NEEDED.

**PROPERTY OWNER**  
PAUL & JILL GIGLIOTTI D.V.M.  
8 NORTH 26TH STREET  
WILMINGTON, N.C. 28405

**PROJECT PHASING**

**PHASE I** - PHASE I WILL INCLUDE BUILDINGS A,B,C AND ALL PARKING. THE REQUIRED STORM WATER POND WILL ALSO BE BUILT IN PHASE I. THE EXISTING RESIDENTIAL STRUCTURE WILL BE LEASED AS A SMALL PROFESSIONAL OFFICE OR WILL BE USED AS VET BUILDING UNTIL PHASE II TAKES PLACE, AT WHICH TIME BUILDING C WILL BE DEMOLISHED OR GIVEN AWAY FOR RELOCATION TO MAKE ROOM FOR CONSTRUCTION OF BUILDING D

**PHASE II** - BUILDING D WILL BE CONSTRUCTED WITHIN 3 YEARS OF CO BEING ISSUED ON CONSTRUCTION OF BUILDING B. NEW VET BUILDING, IF OWNER IS NOT ABLE TO MOVE FORWARD WITH CONSTRUCTION OF BUILDING D WITHIN THIS TIME FRAME, THEY WILL BE ABLE TO REQUEST AN ADDITIONAL 3 YEAR EXTENSION TO CONSTRUCT BUILDING D.

**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- NOTE #1 ARBORIST TO DETERMINE CONDITION OF TREE & MAKE RECOMMENDATION ON SAVING OR REMOVAL BASED ON TRC COMMENT

**APPROVED CONSTRUCTION PLAN**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Public Utilities \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**STORMWATER MANAGEMENT PLAN**

**APPROVED**

CITY OF WILMINGTON

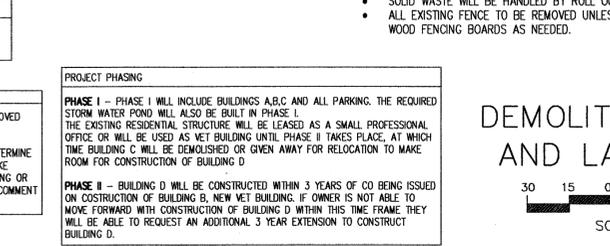
ENGINEERING DEPARTMENT

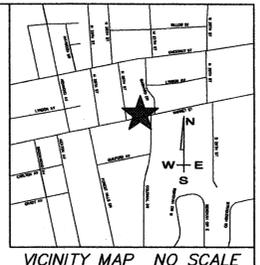
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_

SIGNED \_\_\_\_\_

**DEMOLITION/REMOVAL, AND LAYOUT PLAN**

SCALE: 1"=30'-0"





REVISIONS	DATE
TRC COMMENTS	11/22/10

**HICA**  
**Howard T. Capps & Associates, Inc.**  
 Land Planning Landscape Architecture  
 201 N. Front Street, Suite 512  
 Wilmington, NC 28401  
 Phone: (910) 763-7708 Fax: (910) 763-7708

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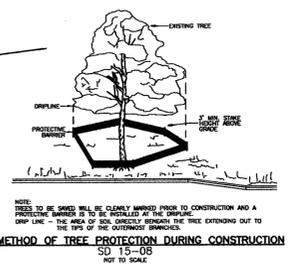
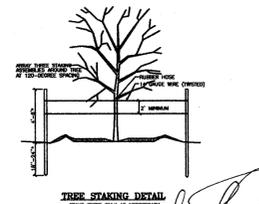
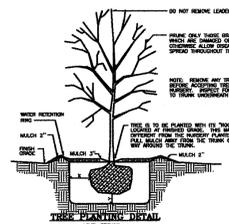
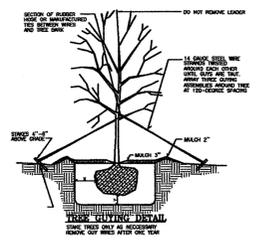
DESIGNED:	DRAWN:
H. Capps	R. Capps
DATE:	11-1-2014
SCALE:	1"=30'
JOB NO.:	401-00110
SHEET	L2
OF	4 SHEETS

PLANT LIST							
KEY NO.	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	HT.	REMARKS
1	1	QUERCUS VIRGINIANA	LIVE OAK	WB	3"	10'-12'	
2	1	LACERSTROEMIA INDICA	CREPE MYRTLE	WB	2 1/2"-3"	8'-10'	VAR. MUSKOGEE
3	31	PRUNUS YEDOENSIS	YOSHINO CHERRY	WB	2 1/2"-3"	10'-12'	
4	2	ZELKOVA SERRATA	JAPANESE ZELKOVA	WB	2 1/2"-3"	12'-14'	VILLAGE GREEN
5	191	OPHIPOGON JAPONICUS	MONDO GRASS	1			1' O.C.
6	10	NANDINA DOMESTICA	NANDINA	3			3' O.C.
7	162	ILEX VOMITORIA NANA	DWARF YAUPOON	3			4' O.C.
8	133	JUNIPERUS DAURICA PARSONI	PARSONS JUNIPER	3			5' O.C.
9	3	PITTIOSPORUM TOBIRA	PITTIOSPORUM	10			36" @ PLANTING
10	13	PITTIOSPORUM TOBIRA NANA	WHEELER'S DWARF	3			3' O.C.
11	3	JUNIPERUS CHINENSIS	PFTZER JUNIPER	5			8' O.C.
12	6	PHOTINIA FRASER	FRASER PHOTINIA	5			6' O.C.
13	3	FORSYTHIA INTERMEDIA	BORDER FORSYTHIA	3			8' O.C.
14	41	HEMEROCALLIS HYBRIDA	DAYLILY	3			3' O.C. STELLA D'ORE
15	25	HEMEROCALLIS HYBRIDA	DAYLILY	3			3' O.C. HYPERION
16	5	CORTADERIA SELLOANA	PAMPAS GRASS	10			36" @ PLANTING
17	49	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3			2' O.C.
18	111	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	3			2' O.C.
19	2	PANICUM VIRGATUM	CLOUD NINE TALL SWITCHGRASS	3			3' O.C.
20	35	PENNISETUM ALOPECUROIDES "CASSIAN"	DWARF FOUNTAIN GRASS	3			3' O.C.
21	8	PENNISETUM ALOPECUROIDES "COTUIT"	GIANT FOUNTAIN GRASS	3			3' O.C.
22	3	PYRACANTHA KOIZUMI	FORMOSA FIRETHORN	3			ESPALIER ON FENCE
23	1	ROSA BANKSIAE	BANKS ROSE				LUTEA
24	18	OSMANTHUS X FORTUNEI	FORTUNE TEA OLIVE	10			6' O.C.
25	18	NERIUM OLEANDER	OLEANDER	7			6' O.C. PINK

NOTE: The key number refers to the Plant List. Where there is only one number, it is the key number and the Quantity is one. Where there are two numbers connected by a dash, the first is the key number and the second is the quantity required for the planting bed indicated.

B&B = Ball and Burlap  
 WB = Wire Basket  
 Cont. = Container grown  
 All plant bed areas shall be covered in a minimum of 3" of premium chocolate mulch. (Sample & source to be provided to landscape architect for approval)  
 All orders shown on bid shall be Meyer Zoysia (Zoysia Japonica)  
 THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND FLAGGING ALL UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH ANY EXCAVATION WORK. IF ANY DAMAGE IS DONE TO EXISTING OR NEW UTILITIES, ALL NECESSARY REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO COST TO THE OWNER.  
 CALL: 1-800-632-4848 TO LOCATE UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION  
 GAS LINES MAY BE LOCATED ON SITE. CONTRACTOR TO VERIFY WITH OWNER OR OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH ANY EXCAVATION.  
 NOTE: THE PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR. IN THE EVENT THERE IS A DIFFERENCE IN QUANTITY BETWEEN PLANT QUANTITIES IN THE PLANT LIST AND PLANT QUANTITIES ON THE PLAN, THE CONTRACTOR SHALL USE THE QUANTITY SHOWN ON THE PLAN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUANTITY DIFFERENCE.

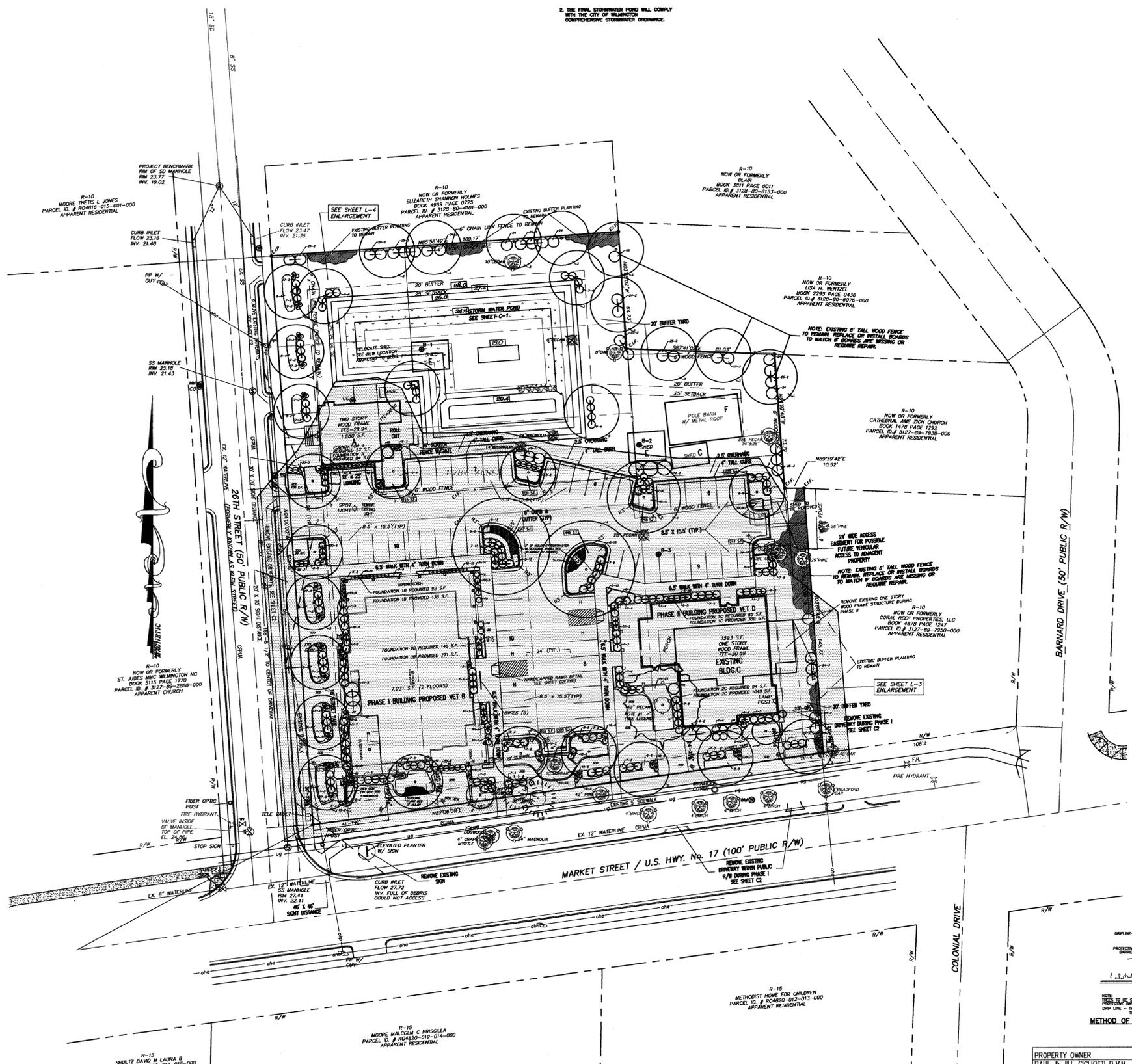
SCHEDULE FOR PLANTING HOLE SIZE	
BARE ROOT, BALL OR CONTAINER SIZE	HOLE SIZE
5"-12"	6" x 3"
12"-36"	12" x 6"
36" AND UP	1/2W x 1/2L



PROPERTY OWNER  
 PAUL & JILL GIGLIOTTI D.V.M.  
 8 NORTH 26TH STREET  
 WILMINGTON, N.C. 28405

LEGEND  
 EXISTING TREE TO BE REMOVED  
 EXISTING TREE TO REMAIN  
 NOTE: #1 ARBORIST TO DETERMINE CONDITION OF TREE & MAKE RECOMMENDATION ON SAVING OR REMOVAL BASED ON TRC COMMENT

**LANDSCAPE PLAN**  
 C-97  
 289  
 SCALE: 1"=30'-0"



**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

**STORMWATER MANAGEMENT PLAN**  
**APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

R-15  
 SHEET DAVID M. LAURA B.  
 PARCEL ID. # R04820-012-015-000  
 APPARENT RESIDENTIAL

R-15  
 MOORE MALCOLM C. CHRISOLA  
 PARCEL ID. # R04820-012-014-000  
 APPARENT RESIDENTIAL

R-15  
 METHODIST HOME FOR CHILDREN  
 PARCEL ID. # R04820-012-013-000  
 APPARENT RESIDENTIAL

R-10  
 NOW OR FORMERLY  
 ELIZABETH SHANNON HOLMES  
 BOOK 4899 PAGE 0725  
 PARCEL ID. # 3128-80-481-000  
 APPARENT RESIDENTIAL

R-10  
 NOW OR FORMERLY  
 LISA H. WENZEL  
 BOOK 2553 PAGE 0433  
 PARCEL ID. # 3128-80-6076-000  
 APPARENT RESIDENTIAL

R-10  
 NOW OR FORMERLY  
 CATHARINE ANNE ZION CHURCH  
 BOOK 1428 PAGE 1282  
 PARCEL ID. # 3127-88-7636-000  
 APPARENT RESIDENTIAL

R-10  
 MOORE THELMA L. JONES  
 PARCEL ID. # R04816-015-001-000  
 APPARENT RESIDENTIAL

R-10  
 NOW OR FORMERLY  
 ST. JAMES M.C. WILMINGTON NC  
 BOOK 5115 PAGE 1778  
 PARCEL ID. # 1527-89-2868-000  
 APPARENT CHURCH



