

**To:** Garry Pape  
**From:** Jeff Walton, Associate Planner; 910-341-3260  
**CC:** File;  
**Date:** 7/7/2014  
**Re:** Ellington Farms Construction Plans

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The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

City Council Conditions:

- Site lighting shall be designed so that no impact will be experienced on any adjacent parcel.
  - a. Submit a lighting plan to show impacts on site.
- Any parking above the minimum required shall be of pervious material if the soils are adequate to support a pervious pavement type material.
  - a. Label and show parking of pervious material.
- The applicant shall provide wetland delineation verified and approved by the Wilmington District Army Corps of Engineers prior to release for construction.
  - a. Please show on your next submittal.
- A center turn-lane on Gordon Road, as required by the NCDOT, for vehicle movements into the site shall be constructed by the applicant prior to issuance of certificate of occupancy.
  - a. Are you planning to show this design prior to release? Please submit this for review.
- A five-foot wide sidewalk shall be constructed along Gordon Road, either within the existing right-of-way if approved by the North Carolina Department of Transportation, or within the proposed development with a public access agreement.
  - a. Is this within your property? Need to submit a sidewalk encroachment agreement.
- The proposed development shall be designed to allow the preservation and protection of the 404 wetlands (0.28 of an acre) at the rear of the property, as well as the Waters of the United States that run through the middle of the site.
  - a. Add note to wetland area and provide documentation.
- Within the long stretch of asphalt between Building 2 and 3, mountable curbing shall be installed.
  - a. Please label on site plan.
- Tree protection fencing shall be installed along all protected trees with signage of no material storage in English and Spanish.
  - a. Add note to tree protection detail.

#### Site Plan Comments:

- Sec. 18-60 (c) (4): Show the address of the project in the title of Ellington Farms.
- Show bicycle parking compliance. Bicycle parking facilities shall be provided within 200 feet of the primary entrance to the facility.
  - Show location for each on site plan.
- A tree preservation/removal permit is required
  - Added a redline of questionable tree removal and need for more fencing.

#### Multi Family Comments:

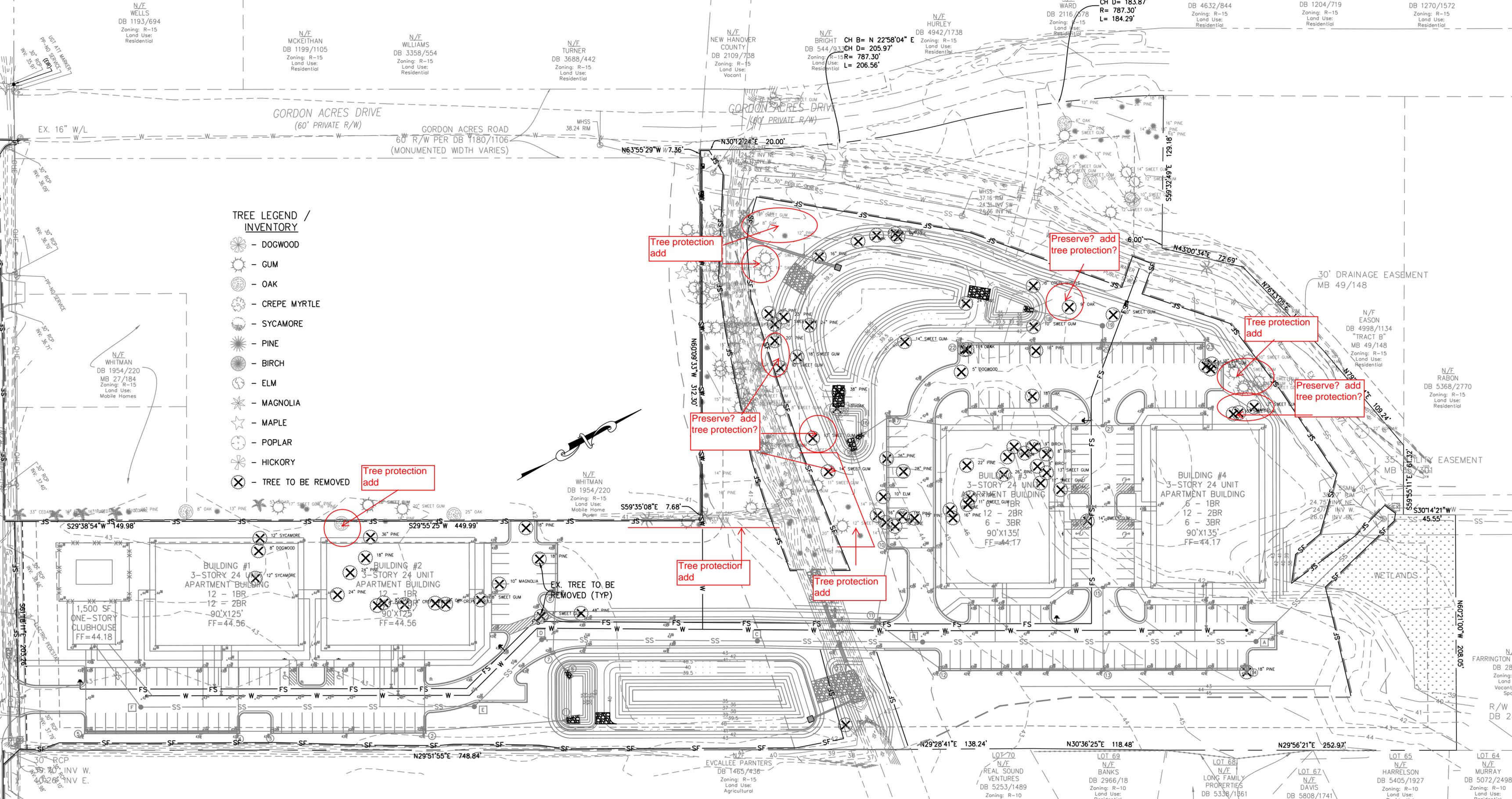
- *Building height.* The maximum height of any building shall be ninety-six (96) feet. Building heights above thirty-five (35) feet must provide additional side and rear yards in accordance with the following standards:
  - Please show height of buildings and correct setbacks if over 35 feet in height.
    - Update on data table, proposed height not shown.
- Please show compliance with the required open space requirements. Show on your plans where the active and passive space is being provided for compliance with the 35 percent open space provision.

#### Landscape Plan:

- Buffers:
  - Planted buffer yards--The planted buffer yards shall perform as "opaque screens" achieving one hundred (100) percent opacity from the ground to a height of six (6) feet, with intermittent visual obstructions from the opaque portion to a height of at least twenty (20) feet, within three (3) years of planting.
  - Shrubs shall be a minimum of three (3) feet high at planting. To provide a variety of height and depth, at least one (1) tree on average will be planted for every thirty (30) linear feet of screen.
  - Spacing of trees should be varied from straight lines and equidistant spacing where practical.
    - The current buffers provided against the farm and the trailer park do not appear to be sufficient for an opaque screen. Please address. Maybe a staggered tree to achieve two rows of trees with supplemented shrubs to achieve the opaque screen.
    - Please provide photos of the existing screens against Farrington Farms and Gordon Acres to show compliance with buffers for the existing vegetation.

**TREE LEGEND / INVENTORY**

-  - DOGWOOD
-  - GUM
-  - OAK
-  - CREPE MYRTLE
-  - SYCAMORE
-  - PINE
-  - BIRCH
-  - ELM
-  - MAGNOLIA
-  - MAPLE
-  - POPLAR
-  - HICKORY
-  - TREE TO BE REMOVED



Tree protection add

Preserve? add tree protection?

Tree protection add

Preserve? add tree protection?

Preserve? add tree protection?

Tree protection add

Tree protection add

Tree protection add

EX. TREE TO BE REMOVED (TYR)

N/E WELLS  
DB 1193/694  
Zoning: R-15  
Land Use: Residential

N/E MCKEITHAN  
DB 1199/1105  
Zoning: R-15  
Land Use: Residential

N/E WILLIAMS  
DB 3358/554  
Zoning: R-15  
Land Use: Residential

N/E TURNER  
DB 3688/442  
Zoning: R-15  
Land Use: Residential

N/E NEW HANOVER COUNTY  
DB 2109/758  
Zoning: R-15  
Land Use: Vacant

N/E BRIGHT  
CH B = N 22°58'04" E  
CH D = 205.97'  
R = 787.30'  
L = 206.56'

N/E HURLEY  
DB 4942/1738  
Zoning: R-15  
Land Use: Residential

WARD  
DB 2116/678  
Zoning: R-15  
Land Use: Residential  
CH D = 183.87'  
R = 787.30'  
L = 184.29'

DB 4632/844  
Zoning: R-15  
Land Use: Residential

DB 1204/719  
Zoning: R-15  
Land Use: Residential

DB 1270/1572  
Zoning: R-15  
Land Use: Residential

N/E WHITMAN  
DB 1954/220  
MB 27/184  
Zoning: R-15  
Land Use: Mobile Homes

N/E WHITMAN  
DB 1954/220  
Zoning: R-15  
Land Use: Mobile Home

N/E EASON  
DB 4998/1134  
MB 49/148  
Zoning: R-15  
Land Use: Residential

N/E RABON  
DB 5368/2770  
Zoning: R-15  
Land Use: Residential

N FARRINGTON  
DB 28  
Zoning: Land Vacant  
Sp

N/E EVCALLEE PARTNERS  
DB 1465/436  
Zoning: R-15  
Land Use: Agricultural

LOT 70  
N/E REAL SOUND VENTURES  
DB 5253/1489  
Zoning: R-10  
Land Use:

LOT 69  
N/E BANKS  
DB 2966/18  
Zoning: R-10  
Land Use:

LOT 68  
N/E LONG FAMILY PROPERTIES  
DB 5338/1861  
Zoning: R-10  
Land Use:

LOT 67  
N/E DAVIS  
DB 5808/1741  
Zoning: R-10  
Land Use:

LOT 65  
N/E HARRELSON  
DB 5405/1927  
Zoning: R-10  
Land Use:

LOT 64  
N/E MURRAY  
DB 5072/2498  
Zoning: R-10  
Land Use: