

To: Robb Klauk, Land Design
From: Pat O’Mahony, Associate Planner; 910-341-3260
CC: File;
Date: 3/4/2024
Re: Dave & Busters TRC Rev. 1

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

Staff	Department	Notes
Pat O’Mahony	Planning, Plan Review	Comments provided below
Eric Seidel	Engineering	Comments provided below
Robert Bentfield	Fire	No further comments
Randall Glazier	Traffic Engineering	Comments provided below
Bill McDow	Transportation	Comments provided below
Sally Thigpen	Urban Forestry	Comments provided below
Anna Reh-Gingerich	Stormwater Services	Comments provided below

Pat O’Mahony – Planning, Plan Review

- Confirm map of recombination is being submitted.
- Sec. 18-60 (c) (4): Show the address of the project.
 - Please include the address of the project in the data table on all plan sheets.
- Calculations for building lot coverage
 - Add percentage for project limits
- Off street parking calculations, including required amount of parking and proposed amount of parking and the basis for determination
 - Show the min and max required for parking.
- CAMA land use classification
 - Add to data table
- Integrated design of the project. Common architectural theme. Design: Structures should provide architectural relief and interest, with emphasis at building entrances and along sidewalks, to promote and enhance a comfortable pedestrian scale and orientation. Structures shall have consistent scale and massing to create a unified project. Compatibility with the immediate context is required. However, gradual transitions in scale and massing are permitted.
 - The building design a departure from the surrounding structures.
- Blank walls shall be avoided by including ground floor windows, recesses, extensions and breaks in roof elevation.
 - Can the rear façade be addressed to include more breaks to avoid a blank wall and back of house look to meet this code requirement?

- Signage shall be removed from plans. This includes the “&” symbol which may constitute signage per code. Additional determination is needed from Zoning. Site plan approval does not constitute signage approval.
- Landscape Plan:
 - Provide shading calculations for parking lot area.
 - Required parking lot tree minimum size is 2”-2.5” caliper.
 - Please provide parking island sf or dimension.

Urban Forestry Comments: Dave & Busters – Mayfaire

1. Sheet C3-02 and C7-10 include City Tree Planting detail [15-15](#). Do not plant with tree wrapping (specification #3 on C3-02).
2. Protect existing trees to remain and include Tree Protection Fencing [15-09.1](#), [15-09.2](#)

Sally Thigpen

City of Wilmington

Parks and Recreation Assistant Director

910-765-0593

[Parks & Recreation | City of Wilmington, NC \(wilmingtonnc.gov\)](http://wilmingtonnc.gov)

Project Name: Mayfaire Dave & Buster's
Formal TRC Date: 03/07/2024
Reviewer: Eric Seidel, PE
Department: Engineering – Plan Review Section

1. Stormwater Application VII. Applicants Certification: Provide Signature w/ Notary.
2. City Engineering requests DEQ Stormwater Permit Modification SW8010512 be forwarded to our office prior issuance of final CO.
3. Consider additional curb inlets within the parking lot. The majority of the parking lot is captured by one existing inlet.
4. Provide inlet drainage area map.

Project Name: **Dave & Busters**

TRC Date: March 07, 2024

Reviewer Name: Robert Bentfield

Reviewer Department/ Division: FIRE

No comments from fire

TECHNICAL STANDARDS – ACCESS:

1. Existing wheelchair ramps at the corner of roundabout at Town Center Dr and Destiny Way abutting this property shall be retrofitted with flexible surface-applied detectable warning mats [Chapter II (E) (6) of CofWTSSM]. Callout appropriately.
2. Dimension driveway widths and tapers.
3. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec. 18-667 CofW Updated LDC] [Sec. 18-693 CofW Updated LDC]. Add a note 'No parking spaces, fences, walls, posts, lights, shrubs, trees, or other type of obstructions not specifically exempted shall be permitted in the space between 30 inches and above ground and 10 feet above ground level within a triangular sight distance [Sec. 18-667 Figure 18-667 CofW Updated LDC: Vision clearance].

TECHNICAL STANDARDS – PARKING:

4. Existing parking facilities to be re-used shall meet minimum dimensional, circulation, and ingress/egress requirements of the Technical Standards and Specifications Manual and this division. [Sec. 18-344 (B) CofW Updated LDC]

TECHNICAL STANDARDS – ADA:

5. Show the typical handicap sign detail on the plan as per ADA and City standards. [Detail No.: TE7-01 & TE7-02] [CofW Sign Specification and Installation Guide]
6. One of an existing handicap space north-east corner of the project is missing an accessible aisle.
7. Note/label the plan with spot elevations that clearly indicate the accessible route from the handicap space(s) to the building. [Sec. 18-529(b)(2) CofW LDC] [Sec. 18-588 CofW Updated LDC].

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [[Detail SD 11-03 and SD 15-13 CofW Tech Stds](#)]
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [[Detail SD 15-13 CofW Tech Stds](#)]
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- D. All parking stall markings and lane arrows within the parking areas shall be white.
- E. Any broken or missing sidewalk panels and curbing will be replaced.
- F. Contact 811 prior to contacting City of Wilmington, Traffic Engineering regarding the utilities in ROW.
- G. Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance.

Project Name: **DAVE AND BUSTER'S**

TRC Date: **03.07.2024**

Reviewer Name: **BILL McDow**

Reviewer Department/Division: **PDT/Transportation Planning**

TECHNICAL STANDARDS:

1. The site is a 24,000 SF Restaurant and Arcade located at 953 Town Center Drive.
2. The project has proposed the estimated ITE Trip Generation Numbers for the 24-Hour, AM Peak Hour and PM Peak Hour Totals for the project, for each proposed land use and intensity:

Scooters Coffee Land Use	ITE Code	24 Hour Volumes	AM Peak Hour Trips		PM Peak Hour Trips	
			Enter	Exit	Enter	Exit
Multipurpose Recreation Facility/ Arcade 12,500 SF	435	450	N/A	N/A	25	20
Restaurant (Sit-down High-turnover), 6,500 SF	932	696	32	26	36	23
Sports Bar (Drinking Place), 5,000 SF	975	570			38	19
Totals		1716	58		161	

3. The total estimated Trip Generation Numbers for the AM Peak Hour or PM Peak Hour exceeds 100 trips. The project has requested a TIA Waiver for the project.
4. Please verify the proposed number of handicap parking spaces in the site data table matches the handicap parking spaces shown on the site plan.
5. The site appears to be missing some handicap ramps. Handicap ramps shall be installed according to the ADA Guidelines. Please revise.
6. Please provide vehicle turning movement exhibits for Fire/EMS vehicles.

Project: Dave & Buster's Mayfaire
TRC Meeting Date: 3/7/2024
Reviewer: Anna Reh-Gingerich
Department: Stormwater

To Whom It May Concern:

The Dave & Buster's Mayfaire project falls within the Howe Creek Watershed, which is listed on the regulatory 303(d) list as impaired due to pollution from stormwater runoff. Any additional infiltration on-site would help reduce the amount of stormwater runoff and pollution that could enter Howe Creek and contribute to the current shellfish harvest closures.

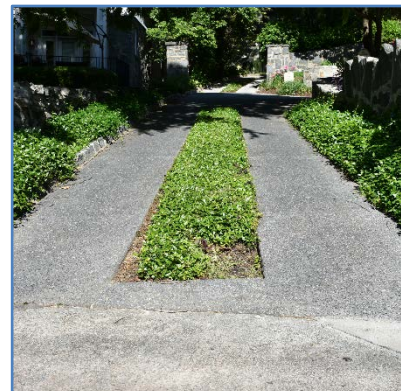
My comments:

1. We encourage passive infiltration over green space or depressed bio retention areas (with curb cuts and overflows) to allow for even more infiltration and pollution treatment on the property where possible. Some examples are available at the following links:
 - a. Massachusetts "Green Parking" example: <https://www.mass.gov/service-details/demonstration-3-permeable-paving-materials-and-bioretenion-in-a-parking-lot>
 - b. NCDEQ Stormwater Manual, Bioretention Cell Chapter: <https://deq.nc.gov/media/17536/download>
 - c. Filterra boxes (adding trees and stormwater management in one practice): <https://www.conteches.com/stormwater-management/biofiltration-bioretenion/filterra>
 - d. ***Below are examples of bioretention, vegetated swales, and curb cuts.***

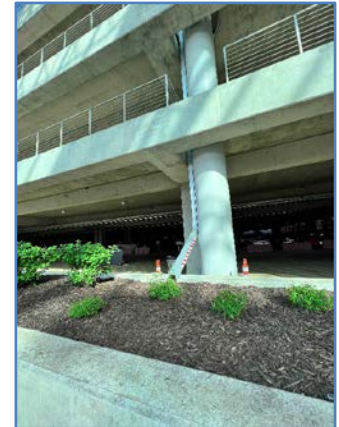


2. If the soils and water table levels allow, consider incorporating pervious materials. Any replacement of impervious material with pervious material (pavers, pervious concrete, porous asphalt, grass) would help reduce the amount of stormwater runoff being generated:

- a. <https://deq.nc.gov/media/17539/download>



3. Consider green roofs, rainwater harvesting, or redirecting some downspouts from the buildings into stormwater planter boxes (as shown on the right) to help mitigate some of the roof runoff before draining to the drainage system:



- a. Green roof <https://deq.nc.gov/media/17542/download>
 - b. RWH: <https://deq.nc.gov/media/17541/download>
 - c. https://nacto.org/docs/usdg/stormwater_planter_crwa.pdf
 - d. <https://emswcd.org/in-your-yard/rain-gardens/stormwater-planters/>
4. Thank you for incorporating many native plants! Native plants require less maintenance (fertilizers, pesticides, water, etc.) than non-native plants to grow successfully since they are already acclimated to local conditions. Consider a native shrub that could work in place of the non-native podocarpus 'maki', perhaps from a list NC Cooperative Extension put together of recommended native trees, shrubs, and grasses for urban areas: <https://www.wilmingtonnc.gov/home/showpublisheddocument/17120/638301074568030000>
Many additional native plant resources are available in the [Learning Library](#).
 5. Properties that go above and beyond to incorporate green infrastructure are eligible to apply to the Lower Cape Fear Stewardship Development Coalition Awards: <http://www.stewardshipdev.org/>
 6. Additionally, stormwater fee credits up to 40% may be available to incentivize innovative stormwater management. Contact Fred Royal (Frederic.royal@wilmingtonnc.gov) for more information.

Thank you for the opportunity to review! Please do not hesitate to reach out to me if you have any other questions or would like to explore other ways to incorporate green infrastructure into the project.

Thank you,

Anna Reh-Gingerich

Watershed Coordinator - Heal Our Waterways Program
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