

To: Scott Kennedy
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File; Protrak
Date: 3/5/2013
Re: Croaker Web Bostic Review – 4010 Market Street

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Site Plan Comments:

- Sec. 18-60 (c) (4):
 - Please name the site plan “Croaker Web Bostic” in addition to the address on the corner of the street. Need to be consistent with the project name established for the project since we don’t allow addresses to be titles any longer.
- Sec. 18-60 (c) (11): Show location and dimension of all fencing and screening.
 - Show proposed detail for dumpster fence and gate.
 - Also how will the gate open?
- Sec. 18-60 (c) (16): tree survey.
 - Show and label tree protection fencing.
 - Show tree protection fencing detail on plans.
 - A tree removal preservation permit is required, but no fee will be charged, you can email it to me.
- Sec. 18-504: Show compliance with screening of dumpsters with living and non-living material.
 - Screening shall be a minimum of 6 feet in height along the front or corner side of any lot and 8 feet in height along any side or rear property line.
 - See previous comment. I will also need vegetation show on three sides of the dumpster location.
- All federal, state and local permits are required prior to full construction release. This includes, but is not limited to: state storm water, state utility extension permits, wetland disturbance permits, city storm water, tree protection permits, etc.

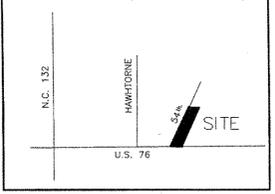
Landscape Plan to Include:

- The site plan shows a 30 percent increase in building square footage. I have attached code pertinent to this increase in regards to landscaping.
- **Sec. 18-510. General.** For expansions to existing principal structures or uses, the following table shall be utilized in calculating the landscaping upgrade required for the previously developed portions of the site (up to the maximum landscaping requirements of this article). All newly developed portions of the site shall be subject to the full landscaping requirements of this article. For expansions where options are listed for street

yard and parking facility landscaping, the higher option shall be utilized except where the City Manager has determined that practical difficulties in site development exist in which the lower option is preferable.

Expansion	Trees	Street yard	Interior Landscaping	Buffer yard
26--50% increase in gross floor area	15 per disturbed acre (calculate based on the disturbed SF)	Full width Or 1/2 the required width for new construction (show me what is existing on a table)	4 percent 6 percent (show me what is existing on a table)	N/A

- Please provide a table on the landscape plan showing the dimension and square footage of the streetyard and parking lot landscaping. The plan also shows three landscape islands. They can't be included in streetyard but can be included in parking lot landscaping.
- Show and label parking spaces existing and those proposed. I don't believe the spaces along the building are marked now as parking, I think they are proposed. Landscaping may have to be added in the parallel spits against the building.
- Parking facing Market Street shall have shrubs of at least 3 feet in height to block headlights onto the street. These are for spaces 8-14.
- The legend will need to be tweaked for your planting schedule. Can you separate into four categories: 1. Large Shade Tree 2. Small Shade tree 3. Shrubs 4. Groundcovers.
- Sec. 18-462 (d) (4): Show note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. And no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
- Is there access to the front of the building? Please show, the foundation shrubs maybe blocking a door.
- Sec. 18-462 (d) (13): Show proposed schedule for landscaping.
 - Show details of required landscaping showing species, dimensions.
 - All trees must be at least 2.5 inches in caliper.
- I will attach a landscape plan that shows the data table I describe as a guide.



REVISIONS

2-18-13	ADJUSTED (a) TREE LOCATIONS IN AREA OF PROPOSED SPILLWAY SWALE.
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 License Number P-0662

LANDSCAPE PLAN
 FOR
OLEANDER DRIVE SELF STORAGE
 WILMINGTON, NC

NORTH CAROLINA PROFESSIONAL SEAL
 032555
 ENGINEER
 CHARLES D. CRAWFORD
 1-27-13

CLIENT INFORMATION:
 PENTON DEVELOPMENT LLC.
 6105 OLEANDER DRIVE SUITE 201
 WILMINGTON, NC 28403
 (910) 452-1410

DRAWN: CDC	SHEET SIZE: 24X36
CHECKED: CDC	DATE: 01-24-13
APPROVED: CDC	SCALE: 1:30
PROJECT NUMBER: 100-081	

DRAWING NUMBER: **C-5**
 5 of 9

LEGEND

- PROPERTY LINE
- PROPOSED BUILDING
- EXISTING PAVEMENT
- EASEMENT
- DEPRESSED LANDSCAPE AREA
- PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE
- PROPOSED FENCE
- 3:1 GRASSED SWALE
- RUNOFF DIRECTION
- EX. FIRE HYDRANT ASSEMBLY
- GATE VALVE
- SPOT ELEVATION
- INLET PROTECTION
- PROPOSED STREET YARD
- PROPOSED SIDEWALK
- PROPOSED BUILDING
- INFILTRATION BASIN
- PERMEABLE PAVEMENT
- CONSTRUCTION ENTRANCE
- CANOPY COVERAGE

SITE DATA TABLE:

ADDRESS:	5307 OLEANDER DRIVE
PARCEL ID:	R06205-005-005-001
TOTAL PROJECT AREA:	104,933 SF (2.409 AC.)
EXISTING ZONING:	CB - Community Business
OVERLAY ZONING:	N/A
PROPOSED ZONING:	CB - Community Business
CAMA LAND CLASSIFICATION:	Watershed Resource Protection
PROPOSED USE:	MINI-WAREHOUSING
NUMBER OF BUILDINGS:	3 (1-Story)
STORAGE UNITS PROPOSED:	31,400 SF

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
STREET YARD		
OLEANDER (PRIMARY - 200.16' x 18')		
(18' Avg., Max. 27', Min. 9')	3,611 SF	3,739 SF
3,611 / 600 = 6 Canopy Trees	6 Canopy Trees	6 Canopy Trees
3,611 / 600 x 6 = 36 Shrubs	36 Shrubs	36 Shrubs
54th ST. (SECONDARY - 517.82' x 9')	4,660 SF	4,660 SF
(1/2 Primary Street Yard)		
4,600 / 600 = 8 Canopy Trees	8 Canopy Trees	9 Canopy Trees (Includes Ex. 30' Oak)
4,600 / 600 x 6 = 48 Shrubs	48 Shrubs	49 Shrubs
PARKING LOT LANDSCAPING	6,900 SF	6,986 SF
20% Canopy Coverage (34,502 x 0.2)		20 Canopy Trees
BUFFER YARD		
REAR YARD (226 l.f.) 1 Tree / 30 l.f.	8 Trees	8 Trees (Includes 6 Ex. Pine Trees)
SIDE YARD	N/A	N/A
FOUNDATION PLANTING	159 LF	463 LF
110 l.f. x 12' x 0.12 = 158.4 s.f.		

LANDSCAPE AREA PLANT LIST

KEY #	QTY.	BOTANICAL NAME	COMMON NAME	TYPE	SIZE
1	12	ACER RUBRUM	RED MAPLE	LARGE SHADE TREE	2.5' CAL.
2	8	QUERCUS VIRGINIANA	LIVE OAK	LARGE SHADE TREE	2.5' CAL.
3	6	QUERCUS PALUSTRIS	PIN OAK	LARGE SHADE TREE	2.5' CAL.
4	8	ZELKOVA GREEN VASE	ZELKOVA	LARGE SHADE TREE	2.5' CAL.
5	49	ELAEAGNUS PUNGENS	SILVERTHORN	SHRUB	3 GAL.
6	9	SABAL PALMETTO	SABAL PALM	SHRUB	5 GAL.
7	23	LORDPETULUM SPP	LORDPETULUM	SHRUB	3 GAL.
8	16	BURFORDII NANA	DWARF BURFORD HOLLY	SHRUB	3 GAL.
9	2	MORELLA CERIFERA	WAX MYRTLE	SMALL SHADE TREE	7 GAL.

* DWARF HOLLY IN FRONT OF PARKING FACING OLEANDER DRIVE MUST HAVE MINIMUM HEIGHT OF 36" WHEN PLANTED.

NOTE:

- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- LANDSCAPE SPECIFICATIONS, SPECIES, & SIZES PROVIDED BY OWNER. INTRACOASTAL ENGINEERING PROVIDED DRAFTING SERVICES ONLY.

Approved Construction Plan

Name: *W. Walker* Date: *2-27-13*

Planning: *W. Walker* 2-27-13

Public Utilities: _____

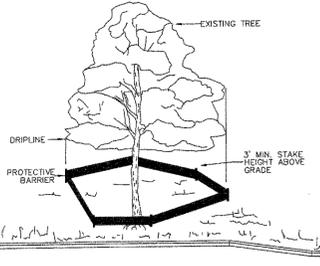
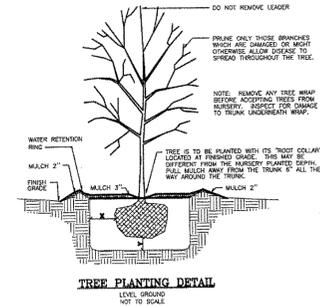
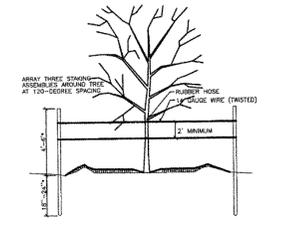
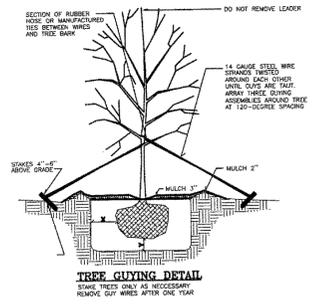
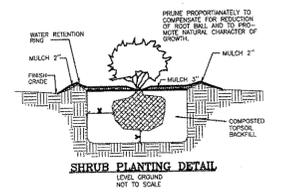
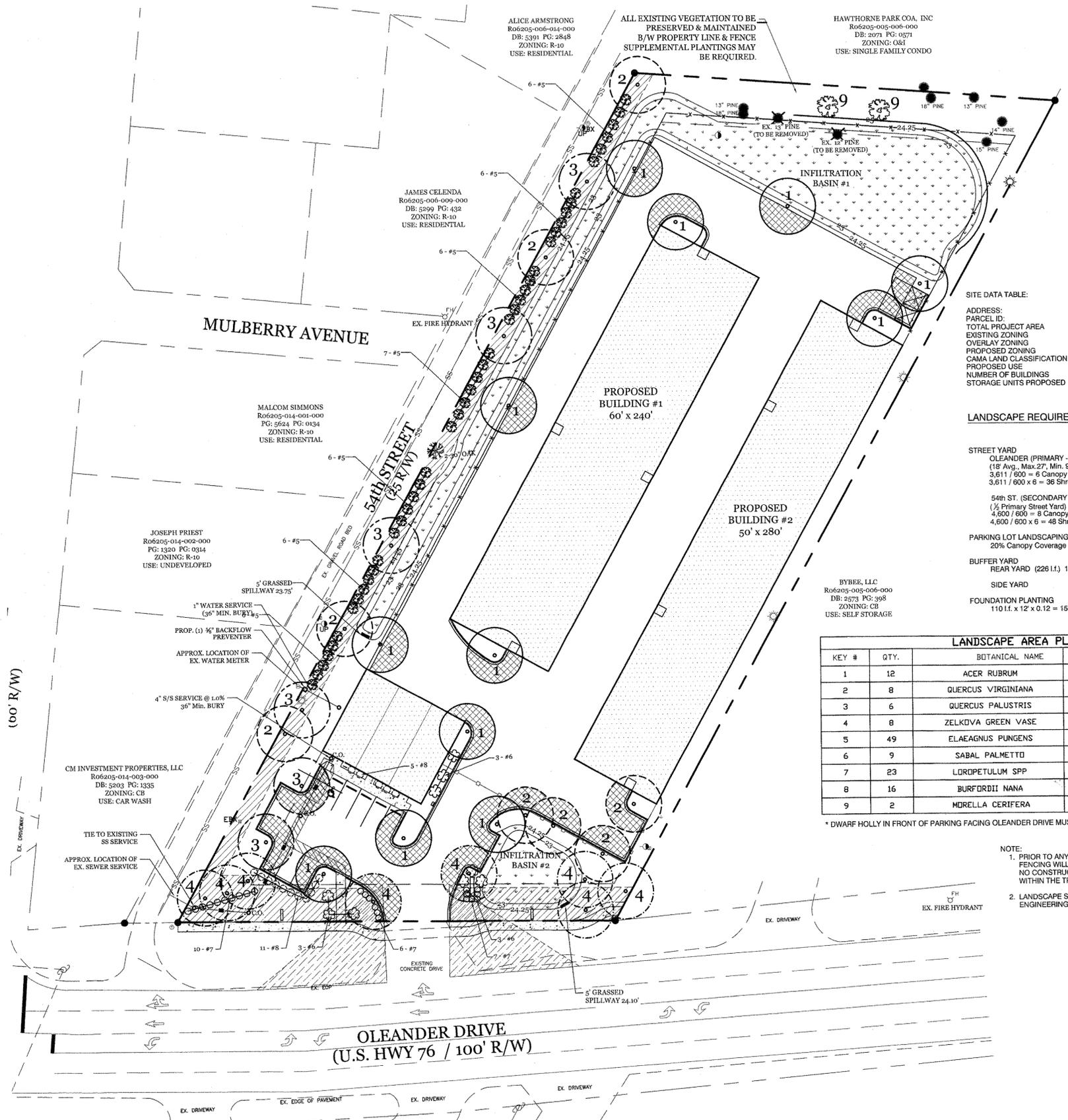
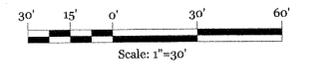
Traffic: *W. Walker* 2/27/13

Fire: *S. Flowers* 2/28/13

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE 2/27/13 PERMIT # 2013004
 SIGNED *[Signature]*



NOTE: TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIP LINE. THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.