

To: David Hollis
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File;
Date: 10/15/2013
Re: PLN Review

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Site Plan Comments:

- Some buildings straddle property lines. Some (or all preferred) parcels may need to be recombined.
 - A recombination map must be recorded prior to release.
- Sec. 18-60 (c) (7): Show location of existing and proposed property boundaries and lot lines.
 - Are you proposing a recombination of all parcels?
- Sec. 18-60 (c) (10): Show Location and dimension of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, designs of ingress and egress of vehicles to and from the site onto public streets and curb and sidewalk lines.
 - Show a pedestrian connection from Oleander Drive.
- Sec. 18-60 (c) (15): Show a proposed landscape plan.
- Sec. 18-60 (c) (16): Show site inventory map and tree survey.
 - I assume there are significant trees being removed. Please provide mitigation calculations but this can be done on the landscape plan when submitted.
- Show bicycle parking compliance. Each new commercial or office development requiring 25 or more auto parking spaces shall make provisions for parking a minimum of 5 bicycles. Each additional 100 auto parking spaces above the minimum 25 spaces shall require provisions for parking of 5 additional bicycles up to a maximum of 25 bicycles. Bicycle parking facilities shall be provided within 20 feet of the primary entrance to the facility.
 - I couldn't locate the location of racks on plans, maybe we can discuss at TRC.
- Sec. 18-504: Show compliance with screening of dumpsters with living and non-living material.
 - Screening shall be a minimum of 6 feet in height along the front or corner side of any lot and 8 feet in height along any side or rear property line.
 - Dumpster will need to show landscaping on 3 sides in addition to the fence.
- I attempted to compare the existing parking lot with the proposed as a result of new locations. I have attached a redline pdf of my estimates.

- Parking is parking according to the code. Car sales parking, inventory parking, employee parking is all the same. If it was previously striped then no islands, but for any new parking, landscaping kicks in.
- Remember that all single parking rows need a minimum of 216 SF at each end as well as 432 SF for double rows.
- A parking space cannot be further away from a landscape island by no more than 120 feet. Consideration needs to be looked at for the parking against each side of the property near Oleander.
- Streetyard and Parking lot landscaping are independent of each other. They cannot be counted towards the same goal.
- Since the site has double frontage, I can buy the argument for a 12.5 foot streetyard on oleander, but that makes Spirea as the primary streetyard where the minimum must be 25 feet per RB zoning.
- Show height and type of fence proposed along Spirea Dr.
- For new parking within the redline shown, a 10-foot perimeter lot landscaping strip is required between 4202 & 4400 Oleander Dr.
- A 20-foot buffer is required for residentially zoned properties to the south west of the site along the driveway off 42nd street and next to the collision center.
- A tree preservation/removal permit is required.
 - Its appreciated to see the sidewalk on Spirea to weave around the existing trees.
 - No issues with trees being removed.
 - Need to show tree protection for each tree or groves of trees.
 - Need to see mitigation calcs for the significant trees being removed.
- All federal, state and local permits are required prior to full construction release. This includes, but is not limited to: state storm water, state utility extension permits, wetland disturbance permits, city storm water, tree protection permits, etc.

Landscape Plan to Include:

- The interior area of a parking facility shall be shaded by canopy trees either planted or retained to provide twenty (20) percent or greater canopy coverage at maturity. For purposes of this section, a parking facility shall include any areas of a development devoted to pedestrian or vehicular use, including but not limited to parking areas, loading spaces, automobile sales lots, driveways and internal drive aisles. The following standards shall apply to interior parking area landscaping:
- (a) All single planting islands measuring twelve (12) feet by eighteen (18) feet or having the equivalent square footage shall have at least one (1) tree. All double planting islands measuring twelve (12) feet by thirty-six (36) feet or having the equivalent square footage shall have at least two (2) small mature shade trees or one canopy tree. All larger planting islands will have additional trees in increments of one (1) tree for each additional two hundred (200) square feet if installing small shade trees or one (1) tree for every four hundred (400) square feet if installing canopy trees. All planting islands shall have additional ground cover or shrubbery from the approved plantings list to cover the entire landscaped island, subject to the walkway allowance as indicated below. At least seventy-five (75) percent of the trees required hereunder shall be of a large shade/canopy species as defined in the approved plantings list that have or will have at maturity a DBH of at least twelve (12) inches. Small maturing shade trees may be planted where overhead power lines would interfere with normal growth or for site design considerations, if trees are maintained in their natural form.
- For purposes of determining if the landscape plan meets the shading requirements of this section, each canopy tree of the type described in this section shall be presumed to shade a circular area of seven hundred and seven (707) square feet (based on having a canopy radius of fifteen (15) feet with the trunk of the tree as the center). When smaller shade trees are planted, each tree shall be presumed to shade a circular area of three hundred and fourteen (314) square feet (based on having a canopy radius of ten (10) feet). Perimeter trees shall be given credit for that portion of the circumference that intersects the parking area. Using this standard, twenty (20) percent of the parking facility area

must have canopy coverage. For existing trees, credit shall be given for the actual canopy overhanging the parking facility. The trees counted toward meeting the shading requirement shall be indicated and calculations shall be shown on the site plan.

- The legend will need to be tweaked for your planting schedule. Can you separate into four categories: 1. Large Shade Tree 2. Small Shade tree 3. Shrubs 4. Groundcovers.
- Sec. 18-462 (a): Show date of plan preparation.
- Sec. 18-462 (b): Show project name and description of land use.
- Sec. 18-462 (c): Show property owner and mailing address.
- Sec. 18-462 (d) (1): Show a North Arrow.
- Sec. 18-462 (d) (2): Show both a graphic scale and a numeric scale
- Sec. 18-462 (d) (3): Show approximate locations, species and critical root zones of all protected trees. Groves of protected trees that will not be disturbed may be labeled as such on the map, stating the approximate number of protected trees and species mix, without specifying data on each individual tree.
- Sec. 18-462 (d) (4): Show note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. And no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
- Sec. 18-462 (d) (5): Show locations, dimensions and square footages of required bufferyards and parking lot landscaping, perimeter lot landscaping, streetyard and foundation plantings.
- Sec. 18-462 (d) (6): Show details of required landscaping showing species, dimensions, and spacing of planted materials and the use and protection of existing vegetation.
- Sec. 18-462 (d) (7): Show all existing and proposed utilities and if applicable, their associated elements.
- Sec. 18-462 (d) (8): Show location and square footage of structures and parking lots.
- Sec. 18-462 (d) (9): Show adjacent zoning district including across the street or streets.
- Sec. 18-462 (d) (10): Show approximate locations of all trees greater than eight (8) inch DBH within the required buffers and of all natural vegetation to be used part of the buffer.
- Sec. 18-462 (d) (11): Show setbacks of all structures and specifications and shielding of certain uses as required.
- Sec. 18-462 (d) (12): Show locations of any Conservation Resources associated with the parcel including any Rare and Endangered species in accordance with the North Carolina Wildlife Resource Commission.
- Sec. 18-462 (d) (13): Show proposed schedule for landscaping.

Preliminary Site Plan of Renovations to Capital Ford Lincoln

4222 OLEANDER DRIVE
LOCATED IN THE CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

SITE DATA TABLE:

TAX PARCEL IDENTIFICATION NUMBERS:
R0107-001-011-000
DB 818 PG 516
DB 933 PG 154

ZONING: RB
AMOUNT OF ACREAGE: CAPITAL FORD LINCOLN = 355,579 sf = 8.163 acres

SETBACKS OF BUILDING:
REQUIRED: FRONT - 25', REAR - 15', SIDE - 0'
PROVIDED: FRONT - 124.7', REAR - 254.5', SIDE - 51.6'
PROVIDED COLLISION CTR: FRONT - 408.8', REAR - 80.2', SIDE - 32.0'
PROVIDED TRUCK SHOP: FRONT - 347.9', REAR - 189.0', SIDE - 1.08'

COMPARISON OF EXISTING and PROPOSED CONDITIONS:

	EXISTING	PROPOSED	DIFFERENCE
BUILDINGS	42,800sf	58,285sf	15,485sf
PARKING	223,310sf	265,330sf	42,020sf
TOTALS	266,110sf	323,615sf	57,505sf
LOT AREA	355,580sf	355,580sf	0sf
% BLDGS	12%	16%	4%
% IMPERVIOUS	75%	91%	16%

PARKING "AUTOMOBILE and TRUCK DEALER": 1/100SF GFA
CAMA LAND USE CLASSIFICATION "DEVELOPED"



LANDSCAPING:

EXISTING	PROPOSED	DIFFERENCE	
PARKING	223,310sf	265,330sf	42,020sf

INTERIOR LANDSCAPED ISLANDS = 8,490 sf = 20% OF NEW PARKING
NEW STREET YARDS & BUFFERS = 18,275 sf
TOTAL NEW LANDSCAPED AREA = 26,765 sf = 10% OF ALL PARKING NEW & OLD

CURRENT DEMAND:
1250 GPD WATER
1250 GPD SEWER
UTILITY: CPPIA
(STD. 1250 GPD PER SERVICE)

ADDITIONAL DEMAND:
250 GPD WATER
250 GPD SEWER
UTILITY: CPPIA
(STD. 1250 GPD PER SERVICE)

- GENERAL NOTES:**
- This map is not for conveyance, recordation, or sales.
 - This property is not located within a special flood hazard area according to Flood Insurance Rate Map Community Panel #370171-0010B, effective date April 2, 1986.
 - Area zoned RB = 8.163 acres
 - Building layout and dimensions by others.
 - This property is zoned City of Wilmington RB. Building setbacks are as follows:
25' from Oleander Right-of-Way
0' from Interior Side
15' from Rear
 - Handicap ramps provided at all intersections and one per building.
 - 15 utility vaults per acre to be preserved or planted in accordance with City of Wilmington standards.
 - Parking areas and streets to be lighted in accordance with City of Wilmington standards.
 - Refuse collection by dumpster and private hauler.
 - 500 total parking spaces provided this renovation.
 - NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. 1-800-632-4949
 - Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate scheduling and placement. At the minimum this should include BellSouth and CP&A.
 - Project shall comply with CPPIA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met.
- OTHER NOTES:**
- THIS PLAT IS PRELIMINARY, NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
 - SURVEYED IN 2013.
 - ALL DISTANCES AS SHOWN ARE HORIZONTAL.
 - SEWER PROVIDED BY CPPIA.
 - WATER PROVIDED BY CPPIA.
 - SITE WILL MEET ALL ZONING REQUIREMENTS.
 - AREA COMPUTED BY COORDINATE METHOD.
 - REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
 - STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
 - NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
 - ALL UTILITIES UNDERGROUND.
 - COMBINED GRID FACTOR = 1.00000.
 - FOR REFERENCE SEE:
DB 2885 PG 680
DB 3869 PG 424 AND 428
 - SIGNIFICANT TREES ON SITE TO BE PRESERVED AS SHOWN.
 - REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. REGULATED TREES LOCATED IN PARKING AREAS ARE AS SHOWN.
 - LANDSCAPING PLAN BY OTHERS.
 - CONTRACTOR TO COORDINATE STAGING OF CONSTRUCTION ACTIVITIES WITH THE OWNER AND ARCHITECT TO FACILITATE EXISTING AND ADJOINING BUSINESS ACTIVITIES.
 - CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF LIGHTING AND OTHER NON-MUNICIPAL UTILITIES SUCH AS ELECTRICAL AND TELEPHONE CONNECTIONS WITH THE AFFECTED AGENCIES AND THE OWNER AND ARCHITECT.
 - CONTRACTOR TO COORDINATE CONSTRUCTION OF PARKING LOT, ISLANDS, AND EXTERIOR FENCING AND SCREENING WITH THE OWNER AND ARCHITECT.
 - NDOT PERMIT REQUIRED FOR ANY WORK IN OLEANDER R/W.
 - ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CPPIA TECHNICAL STANDARDS.

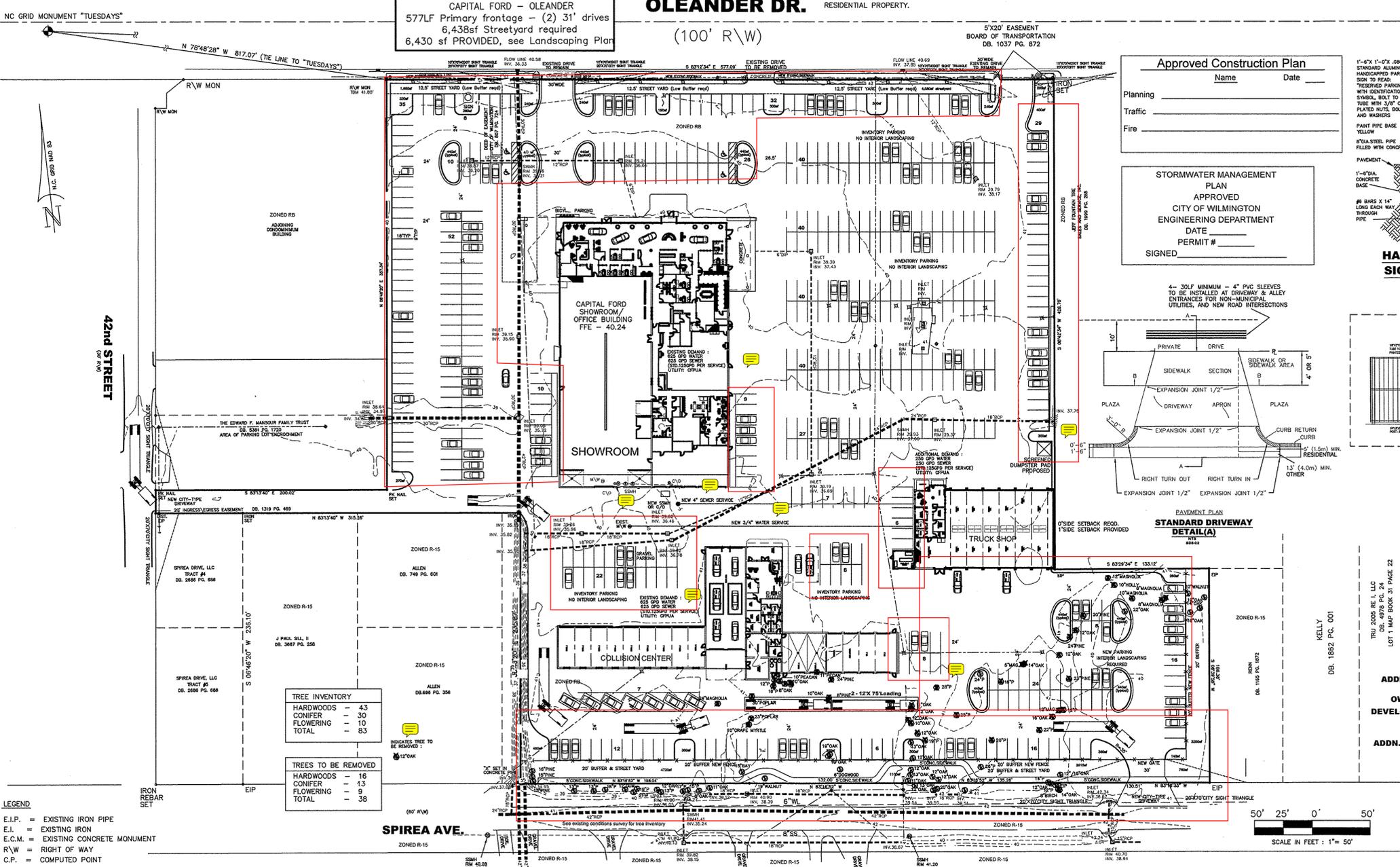
Being the following tracts and parcels located in New Hanover County, North Carolina more particularly described as follows:

TRACT 1
BEGINNING at a concrete monument on the southern right of way line of Oleander Drive (100' Public Right of Way) monument being located S 78°45'28" E 817.07 ft. from NC Point Monument "TUESDAYS" (N 169° 73'51.6" E 2,334,325.52 NAD 83); thence from said POINT AND PLACE OF BEGINNING and with the southern right of way of Oleander Drive S 83°12'34" E 577.09 ft. to an iron rebar in the northwest corner of property owned, now or formerly, by Jeff Fountain Tire and Service, Inc. (Book 1999, Page 285), thence leaving the Southern right of way of way of Oleander Drive, and with the western line of said Jeff Fountain Tire property S 06°42'34" W 426.76 ft. to an iron pipe located at the southwest corner of Jeff Fountain Tire and the northwest corner of property owned, now or formerly by Spirea Drive, LLC, thence with the western line of said Spirea Drive, LLC S 05°11'19" W 185.91 ft. to an iron pipe on the northern right of way of Spirea Avenue (60' public right of way), thence with the northern right of way of Spirea Drive N 83°16'52" W 135.26 ft. to an iron rebar, thence leaving the northern right of way of Spirea Drive N 06°43'08" E 108.78 ft. to an iron rebar, thence N 83°16'52" W 63.00 ft. to an iron rebar, thence S 06°43'08" W 22.50 ft. to an iron rebar, thence N 83°16'52" W 69.00 ft. to an iron rebar, thence S 06°43'08" W 65.28 ft. to an iron rebar in the northern right of way line of Spirea Drive, thence with the northern right of way of Spirea Drive N 83°16'52" W 198.04 ft. to an "X" in concrete pipe, thence leaving the northern right of way line of Spirea Drive N 06°46'20" E 235.87 ft. to an iron rebar, thence N 83°13'40" W 315.25 ft. to an iron pipe in the eastern right of way of 42nd Street (30' public right of way), thence with eastern right of way line of 42nd Street N 06°46'20" E 20.05 ft. to a PK Nail, thence leaving the eastern right of way of 42nd Street S 83°13'40" E 200.02 ft. to a PK Nail, thence N 06°43'08" W 357.34 ft. to the POINT AND PLACE OF BEGINNING and containing an area of 318,246 square feet, 7.31 acres, as shown on that survey entitled "Map of Capital Ford" dated December 20, 2012, prepared by Hanover Design Services, P.A., reference to which is hereby made for a more particular description.

Such tract being all of (a) tracts 1,2,4,5,6,7,8,9,10,11 and 12 conveyed to Properties, LLC by deed recorded at Book 2686, Page 680 and (b) all of tracts 1, 2 and 3 conveyed to Smith Family Holdings, LLC by deed recorded at Book 3869, page 424. All bearings are relative to N.C. Grid (NAD 83) Smith Family

TRACT 2
BEGINNING at an existing iron pipe on the southern right of way line of Oleander Drive (100' Public Right of Way) being located S 05°56'00" E 1579.00 ft. from NC Grid Monument "TUESDAYS" (N 169° 73'51.6" E 2,334,325.52 NAD 83) and also being the northeast corner of the property owned, now or formerly by Tru 2005 Re 1, LLC (Book 4978, Page 24), thence the right of way line of Oleander Avenue and with the western line of said Tru 2005, S 08°49'18" W 194.62 ft. to an iron, thence with the northern line of property owned, now or formerly, by Toys "R" Us (Book 1420, Page 713) N 83°10'42" W 144.00 ft. to a PK Nail, thence with the eastern line of the Jeff Fountain Tire property N 06°49'18" E 194.55 ft. to the POINT AND PLACE OF BEGINNING and containing 28,020 square feet, 0.64 acres as shown on that survey entitled "Map of Capital Ford" dated December 20, 2012, prepared by Hanover Design Services, P.A., reference to which is hereby made for a more particular description.

Said parcel being the parcel conveyed to Smith Brothers, LLC by deed recorded at Book 3869, Page 428. All bearings are relative to N.C. Grid (NAD 83)



LEGEND

E.I.P. = EXISTING IRON PIPE
E.I. = EXISTING IRON
E.C.M. = EXISTING CONCRETE MONUMENT
R/W = RIGHT OF WAY
C.P. = COMPUTED POINT

PROPERTY LINE

BUILDING SETBACK

CENTERLINE

EASEMENT

COMPUTED PROPERTY LINE

- NOTES**
- AREA COMPUTED BY COORDINATE METHOD
 - ALL DISTANCES ARE HORIZONTAL
 - FOR REFERENCE SEE AS NOTED
 - SURVEYED OCTOBER 2011 AND DECEMBER 2012
 - 7.95 ACRES TOTAL AREA
 - UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY.
 - BOUNDARY ESTABLISHED FROM EXISTING EVIDENCE AND RECORD INFORMATION AS SHOWN



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name: _____ Date: _____

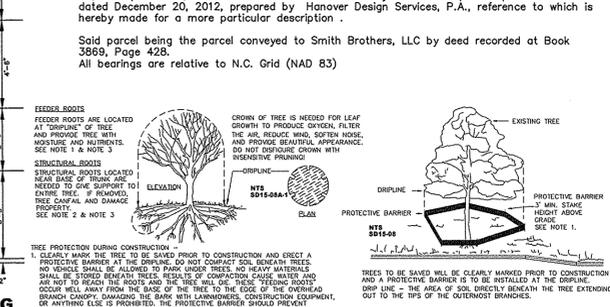
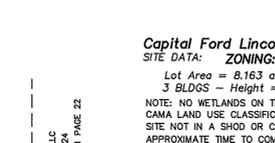
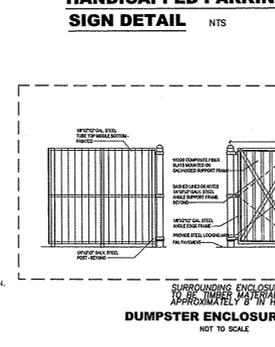
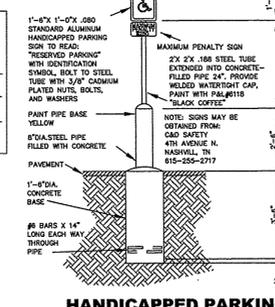
Planning: _____

Traffic: _____

Fire: _____

STORMWATER MANAGEMENT PLAN

APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE: _____
PERMIT # _____
SIGNED: _____



CITY STANDARD NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION, MACHINERY, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARBED AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING ARE INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STRIPS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DETERMINE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMP LOCATIONS.
- UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS OR CURBING WILL BE REPLACED.
- CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FARE PUBLIC UTILITY AUTHORITY (CPPIA) DETAILS AND SPECIFICATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CAPE FARE PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REGULATIONS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CPPIA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE TO THE SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CPPIA WATER SHALL COMPLY WITH CPPIA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CPPIA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFOT/CPH OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0886.
- NO CONSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
- ANY PVC MAINS ARE TO BE MARKED WITH NO.10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE METAL AND SECURED TO ALL VALVES AND FITTINGS. ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3' COVER.

Capital Ford Lincoln
SITE DATA: ZONING: RB
Lot Area = 8.163 acre
3 BLDGS - Height = 25' ONE STORY
NOTE: NO WETLANDS ON THIS SITE.
CAMA LAND USE CLASSIFICATION "DEVELOPED"
SITE NOT IN A SHOD OR CDD.
APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

Parking: "Automobile and Truck Dealers"
Standard : 1 space per 100 sf GFA
570 spaces per Code = 550 provided
4 van accessible HC spaces provided
2 loading spaces required = 2 provided
20 bicycle spaces required
All parking space dimensions 9'X 18' typical.

**ADDRESS: 4222 OLEANDER DRIVE
WILMINGTON NC 28403**
OWNER: CAPITAL PROPERTIES OF WILMINGTON, LLC et al
**DEVELOPER: CAPITAL FORD LINCOLN
4222 OLEANDER DRIVE
WILMINGTON, NC 28403, 910-799-4060**
**ADDN.DEV.: THE ARDEN GROUP
11 BROOKSOME AVE.
WINSON-SALEM, NC 27101, 336-659-9503**

Preliminary Site Plan of Renovations to
Capital Ford Lincoln
LOCATED IN THE CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
4222 OLEANDER DRIVE

Date: 5-15-13
Scale: 1" = 50'
Drawn: DSH
Checked: GAW
Project No: 12489
Sheet No: 3
Of: 4

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORENZ PARKWAY
WILMINGTON, NC 28403
(910) 343-8002
C-0597

OWNER: CAPITAL PROPERTIES OF WILMINGTON LLC
DEVELOPER: CAPITAL FORD LINCOLN 4222 OLEANDER DRIVE WILMINGTON, NC 28403 910-799-4060

Professional Engineer Seal: 20007
D. O. S. M. L. C.
dolls@hdsml.com