

Memo

To: James Fentress, PE
From: Nicole Smith Associate Planner; 910-341-1611
CC: File;
Date: 4/28/2021
Re: Cape Fear Solar Systems

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

Staff	Department	Notes
Nicole Smith	Planning, Plan Review	See comments attached
Eric Seidel	Engineering	See comments attached
Chris Walker	Fire	Nothing further.
Mitesh Baxi	Traffic Engineering	See comments attached
Bill McDow	Transportation	See comments attached

To: Jams H. Fentress, PE
From: Nicole Smith, Associate Planner; 910-341-1611
CC: File;
Date: 4/28/2021
Re: Cape Fear Solar Systems

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Landscape Plan to Include:

- Street trees. **Agree with calculations. Waiting on Aaron's comments regarding species and locations.**
- Foundation plantings. **Repeat comment.**
- Sec. 18-462 (d) (5): Show locations, dimensions and square footages of required bufferyards and parking lot landscaping. Submit technical memo for any waivers you desire from the buffer and parking lot landscape requirements. **Repeat comment. Provide bufferyard calculations to ensure code compliance.**
- Sec. 18-462 (d) (12): Show locations of any Conservation Resources associated with the parcel including any Rare and Endangered species in accordance with the North Carolina Wildlife Resource Commission. Site plan shows potential pocket of wetlands. Please provide a delineation and update required conservation setbacks. **Repeat comment.**

Special Use Permit (SU-6-1119):

- Add details of the required vegetative buffer established in condition 9. **Repeat comment.**

Tree Removal Plan:

- Provide mitigation calculations and tree credits. **Repeat comment. Tree removal plan needs to be included in all submittals. New note under mitigation on both tree preservation sheet and landscape plan mention a reduction in the number of mitigation trees required based on new tree credits. Please provide the updated tree credits list for review.**

Engineering has reviewed the plans for the Cape Fear Solar project submitted April 20, 2021 and have the following comments:

Stormwater Management Permit Application Form:

- 1) If Phase II Net Zero Building does not propose a SCM, at this time, it needs to be removed from the application. A condition of approval will be given stating a stormwater permit modification will be required prior to commencement of Phase II or III construction.
- IV. Project Information; Line Items 8 & 13: Remove Net Zero House BUA from application.

Plans:

- 2) Provide Wetland Jurisdictional Determinate (JD).
- 3) Provide a cross section for 2nd Street which shows proposed curb & gutter and MUP.
- 4) Show Curb & Gutter along 2nd Street. Curb and gutter to be proposed along the entire 2nd street frontage, only Phase III sidewalk will be deferred for later review/approval.
- 5) Remove proposed retaining wall from right-of-way along proposed 2nd Street driveway. Tree fencing may be adjusted for driveway to be constructed. The City will not allow this encroachment.
- 6) Show Phase III sidewalk as shown on attached exhibit.
- 7) Add proposed notes as found on attached exhibit.

Condition of Approval:

- 8) Show Phase III sidewalk as shown on the attached exhibit. The City will require the applicant to submit Phase III sidewalk construction plans, sealed by an Engineer, for review/approval prior to Phase III construction. Additional tree removal may be discussed, at that time, for the construction of required sidewalk.
- 9) Phase II Net Zero house will require a primary stormwater control measure (SCM). Construction plans, calculations, and stormwater permit modification will be required prior to commencement of Phase II or III construction.

Add Note:
Phase 3 Sidewalk improvements. TRC required for design + tree removal prior to commencement of PH3 construction.

Trees to remain undisturbed until PH3 Approval

Add Note:
Phase II Net Zero House will require a permit modification for future SCM design.

Add Note:
All broken curbing and/or sidewalk panels to be replaced whether proposed or existing

Add Note:
Trees to remain undisturbed until PH3 Approval

Add Note:
Phase 3 Sidewalk improvements. TRC required for design + tree removal prior to commencement of PH3 construction.

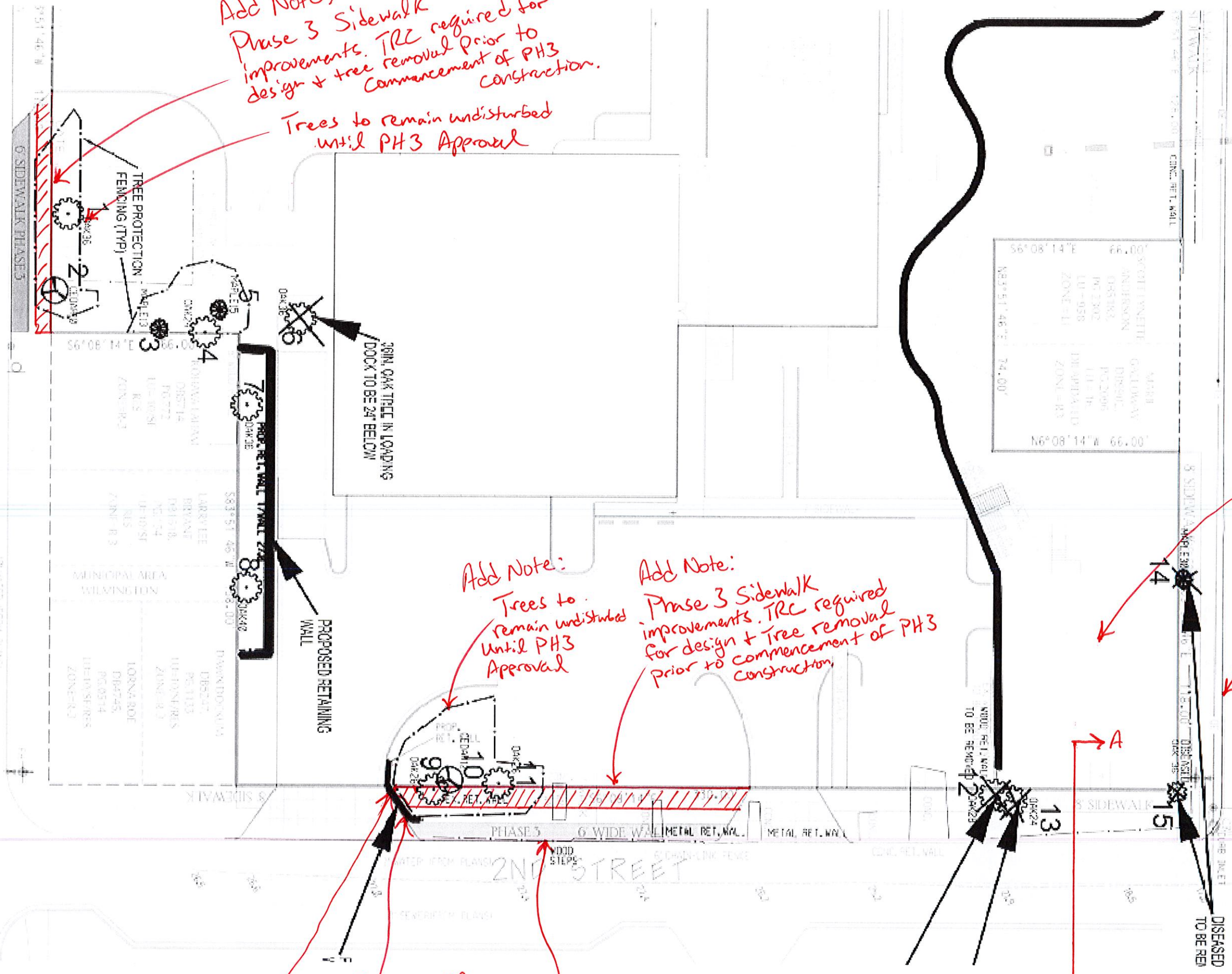
Adjust Tree Protection to allow for driveway + grading
Remove Wall

Provide C+G

Provide Cross section with curb + gutter

WRIGHT STREET

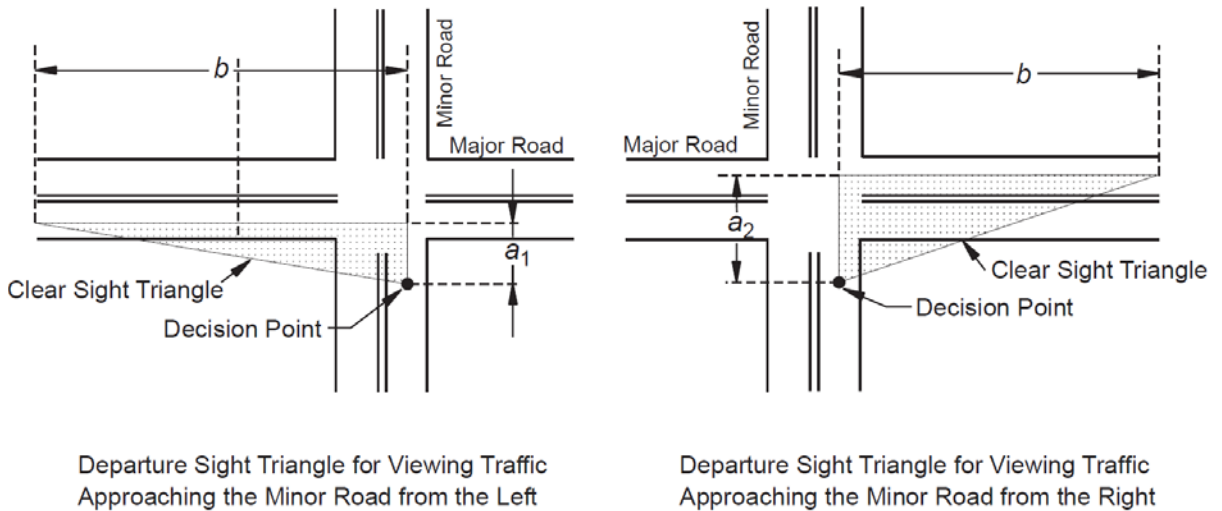
DAWSON STREET



56°08'14"E	66.00'
N83°51'46"W	74.00'
SCOTT ENETTE ANDERSON DISTRICT PG 2302 LU-958 ZONE=LI	
MARI GALLOWAY DISTRICT PG 2096 LU-76 DISTRICT ID ZONE=RS	
N6°08'14"W	66.00'

TECHNICAL STANDARDS:

1. An ADA ramps are proposed at the corner of an intersection of Dawson St/Front St and Dawson St/Wright St directing pedestrian across Front St. Front St is a State Maintained street. There are no existing receiving ramps west of Front St. Please coordinate with NCDOT for the requirement of these ramps. Label the type of ramps as per NCDOT/City standard details.
2. **SIGHT DISTANCE TRIANGLE FOR ANY STREET INTERSECTIONS WITH SAID THOROUGHFARES**
This section of S Front St is a major thoroughfare [Chap VII (C) (2) (a) of CofW Tech Stds]. The required triangular sight distance for any street intersections with said thoroughfares shall be provided in compliance with the AASHTO sight distance standards [Sec.18-556 CofW LDC]. Show AASHTO departure sight distance for the street corners of Wright St and Dawson St. Refer the below image for your reference. AASHTO stopping distance is not required. Revise landscape plans accordingly.



Departure Sight Triangles (Stop-Controlled)

Refer 'AASHTO A Policy on Geometric Design of Highways and Streets'.

Please let me know if you have any questions or if I can be of further assistance.

Project Name: **CAPE FEAR SOLAR**

TRC Date: **04.25.2021**

Reviewer Name: **BILL McDow**

Reviewer Department/Division: **PDT/Transportation Planning**

TECHNICAL STANDARDS:

1. The site appears to have placed newly planted trees for the Landscape buffer in the proposed ROW for the NCDOT Transportation Improvement Project U-5734 project area. If this buffer is planted in this location, it appears the acquisition for the U-5734 project will take them away, resulting in an unbuffered condition. Please revise.
2. No Further Comments.