

MULTI-LANE ORDER POINT SITE PLANS

FOR:



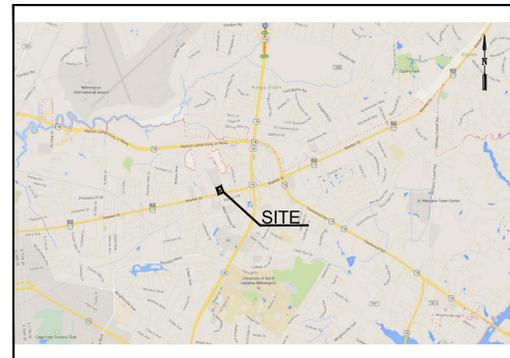
FSU # 01106 MARKET STREET
WILMINGTON, NORTH CAROLINA

OWNER/DEVELOPER:

CHICK-FIL-A, INC.

5200 BUFFINGTON ROAD
ATLANTA, GA 30349

CONTACT: EVAN FOSTER
404-305-7631



LOCATION MAP
(NTS)

SITE ADDRESS:

5123 Market Street
WILMINGTON, NORTH CAROLINA 28405
PARCEL ID# R04900-001-017-000
PARCEL PIN 3138-82-7142.000
NEW HANOVER COUNTY
PREPARED BY:

ATKINS

1600 RIVEREDGE PKWY, NW, SUITE 600
ATLANTA, GEORGIA 30328
(770) 933-0280
CONTACT: GEORGE KAKUNES, P.E.

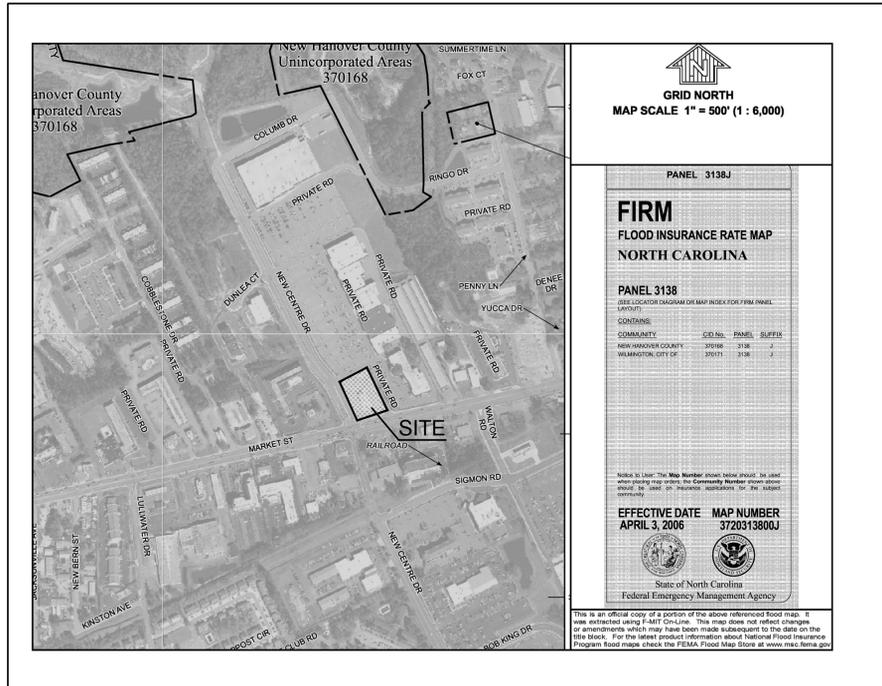
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C-4.2	CONSTRUCTION DETAILS

REVISIONS

1.
2.
3.
4.
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6.

SHEET C-1.0
October 7, 2015
100043483.02



FIRM PANEL 3720313800J

FLOOD NOTE:

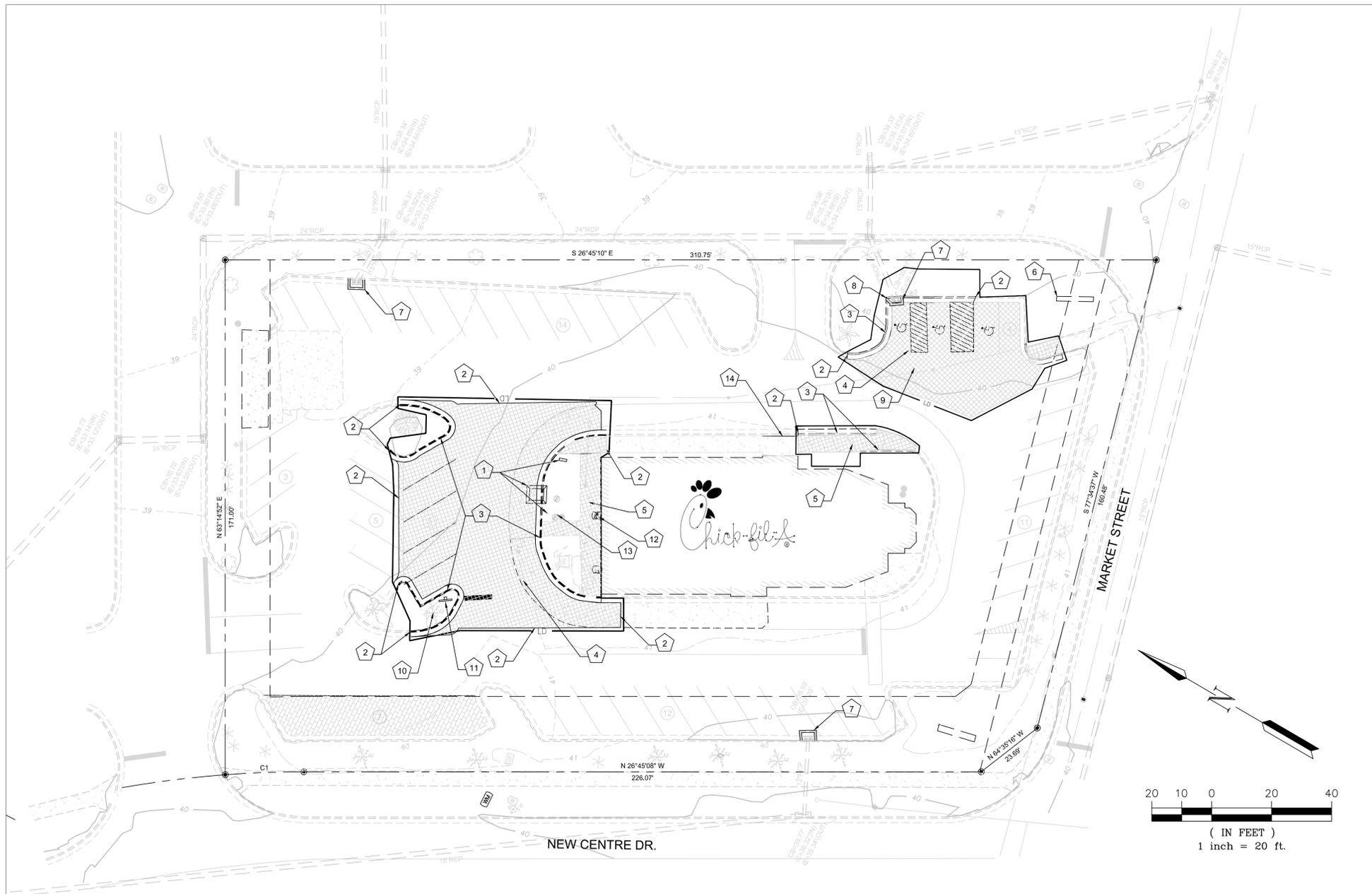
THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD HAZARD ZONE PER:

F.E.M.A., NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM), FOR THE FOLLOWING AREA:

A. "NORTH CAROLINA"; PANEL 3138;
MAP NUMBER 3720313800J (ZONE X); MAP EFFECTIVE DATE: APRIL 3, 2006.

THIS PROPERTY LIES WITHIN THE FOLLOWING AREA:

"ZONE X" (OTHER AREAS): AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



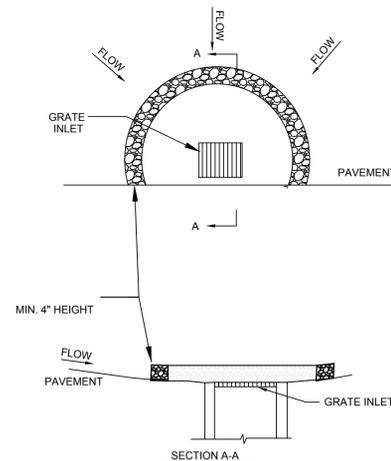
EXISTING CONDITIONS, EROSION CONTROL & DEMOLITION PLAN

DEMOLITION NOTES:

1. CONTRACTOR SHALL OBTAIN ALL PERMITS FROM STATE AND LOCAL AUTHORITIES PRIOR TO THE DEMOLITION AND REMOVAL OF ANY STRUCTURES, PAVING, OR INFRASTRUCTURE.
2. ALL DEBRIS, STRUCTURES, INFRASTRUCTURE, PIPES, POLES, CABLE, PAVING, AND ANY OTHER MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE AT A PERMITTED FACILITY.
3. ALL UTILITY INFRASTRUCTURE TO REMAIN OR BE REUSED UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL RETAIN EXISTING LIGHT POLES FOR REUSE OR RETURN.
5. CONTRACTOR TO UTILIZE HAY BALES, AS NECESSARY, TO CONTROL SEDIMENT RUNOFF.

NPDES NOTE:

DISTURBED AREA IS LESS THAN 1 ACRE (±7,073 SQ. FT. /0.162 ACRES). NO NPDES DOCUMENTS ARE REQUIRED, BUT THE CONTRACTOR MUST IMPLEMENT NECESSARY EROSION CONTROL MEASURES AS NEEDED. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO SILT FENCING, FILTER SOCKS, TEMPORARY GRASSING, PERMANENT GRASSING ETC. TO CONTROL ANY SEDIMENT SOURCES FROM LEAVING THE SITE AND/OR SILTING EXISTING STORM PIPES.



1 C-1.2 CURB INLET FILTER
SCALE: NTS

NOTE: TO BE PLACED AT ALL INLETS RECEIVING RUNOFF FROM THE PROJECT SITE AREA PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.



LOCATION MAP (NTS)

DEMOLITION PLAN KEY NOTES

- 1 EXISTING CANOPY & MENU BOARD TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL REQUIREMENTS
- 2 SAWCUT LIMITS OF EXISTING CURB & GUTTER, PAVEMENT, AND SIDEWALK TO BE REMOVED
- 3 CURB & GUTTER TO BE REMOVED
- 4 EXISTING ASPHALT/CONCRETE PAVEMENT TO BE REMOVED
- 5 EXISTING SIDEWALK TO BE REMOVED AND REPLACED
- 6 EXISTING CFA SIGN TO REMAIN
- 7 EROSION CONTROL - CURB INLET FILTER
- 8 EXISTING STORM INLET TO BE ADJUSTED TO PROPOSED ELEVATION (SEE SHEET C-3.0)
- 9 APPROXIMATE AREA OF PAVEMENT REMOVAL TO ADJUST GRADES TO MEET ADA STANDARDS
- 10 EXISTING TREE TO BE REMOVED
- 11 EXISTING SIGN TO BE REMOVED
- 12 EXISTING ELECTRICAL METER TO BE RELOCATED. REFER TO ARCHITECTURAL PLANS FOR NEW LOCATION ON BUILDING.
- 13 EXISTING GREASE TRAP TO REMAIN IN PLACE. EXISTING PIPING AND CLEANOUTS TO BE ADJUSTED TO BE OUTSIDE OF PROPOSED BUILDING EXPANSION FOOTPRINT.
- 14 EXISTING HANDRAIL TO BE REMOVED & REPLACED

- EXISTING CURB TO REMAIN
- EXISTING CURB TO BE DEMOLISHED
- LD LIMITS OF DISTURBANCE
- EXISTING CONCRETE
- EXISTING PAVEMENT/CONCRETE/SIDEWALK TO BE REMOVED
- EXISTING PAVER PARKING (TO BE MAINTAINED)
- 6 NUMBER OF EXISTING PARKING SPACES

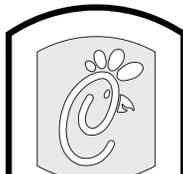
NOTICE: PEDESTRIAN SAFETY

THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE EACH WORK AREA FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES.

THE CONTRACTOR SHALL ALSO UTILIZE SAFE WARNING SIGNS, BARRICADES AND OTHER RELATED MEASURES, AS NECESSARY. THE CONTRACTOR SHALL COORDINATE PERIODICALLY WITH THE PROJECT MANAGER TO REVIEW SAFETY CONCERNS AND ADVISE OF ACTIVE WORK AREAS.



CAUTION
THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal

ATKINS

1600 Riveredge Parkway NW
Suite 600 400
Atlanta, Georgia 30328
770-933-0280

STORE
Market Street
FSR #01106

5123 Market Street
Wilmington, NC

SHEET TITLE

EXISTING
CONDITIONS,
EROSION
CONTROL, &
DEMOLITION
PLAN

Job No.: 100043483.02

Store : 01106

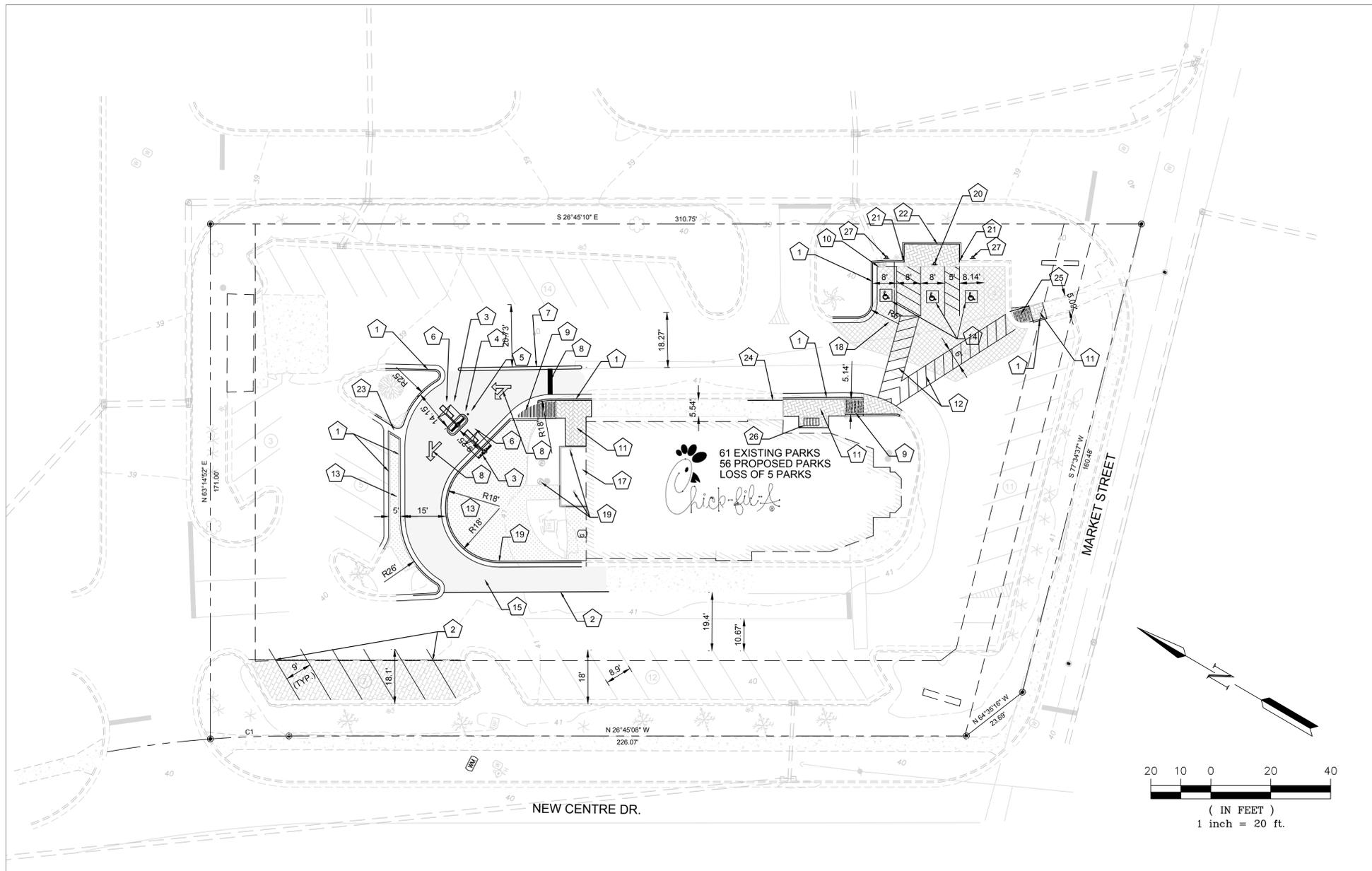
Date : 10/07/15

Drawn By : BMB

Checked By : KMM

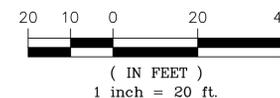
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C-1.2



SITE PLAN LOCATION MAP
KEYNOTE LEGEND (NTS)

- 1 24" CURB AND GUTTER
- 2 4" SOLID STRIPE LINE
- 3 NEW DRIVE THRU CANOPY AND MENUBOARD
- 4 MULTI ORDER POINT ISLAND CURB
- 5 MULTI ORDER POINT BOLLARD
- 6 LOOP DETECTION
- 7 ROLLOVER/MOUNTABLE CURB
- 8 MULTI ORDER POINT STRIPING DETAIL
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 EXISTING INLET TO REMAIN AND BE PROTECTED FROM DAMAGE AND DEBRIS DURING CONSTRUCTION.
- 11 TYPICAL CONCRETE SIDEWALK
- 12 CROSSWALK
- 13 NEW LANDSCAPE AREA
- 14 PAVEMENT STRIPING
- 15 NEW DRIVE THRU CONCRETE PAVING SECTION
- 16 NEW DUMPSTER CONCRETE PAVING SECTION
- 17 PROPOSED SERVICE YARD ADDITION REFER TO ARCHITECTURAL PLANS
- 18 APPROXIMATE AREA OF PAVEMENT REMOVAL AND REPAVING FOR ADA GRADING
- 19 MAINTAIN EXISTING GREASE TRAP. ASSOCIATED PIPING CLEAN OUTS TO BE FIELD ADJUSTED TO ACCOMMODATE PROPOSED BUILDING FOOTPRINT.
- 20 BOLLARD MOUNTED HANDICAP SIGN
- 21 BEGIN HEADER CURB
- 22 HEADER CURB DETAIL
- 23 2' WIDE CONCRETE FUME
- 24 INSTALL NEW ALUMINUM HANDRAIL
- 25 CURB RAMP WITH SHORT FLARED SIDES
- 26 INSTALL BIKE RACK (5 BIKE MINIMUM)
- 27 HANDICAP PARKING SIGN



SITE NOTES:

1. DEVELOPER/OWNER INFORMATION: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GA 30349 CONTACT: REX POWELL (404) 305-7623
2. DESIGNER INFORMATION: ATKINS 1600 RIVEREDGE PARKWAY NW SUITE 600 ATLANTA, GA 30328 CONTACT: BRETT BOKATH (770) 933-0280
3. PROJECT LOCATION: 5123 MARKET STREET WILMINGTON, NORTH CAROLINA 28405
4. PROJECT PARCEL ID # 049000-001-017-000 PROJECT PARCEL PIN 3138-82-7142-000
5. CURRENT SITE ZONING IS RB (REGIONAL BUSINESS)
6. EXISTING PARKING : 61 SPACES PROPOSED PARKING: 56 SPACES THERE IS A LOSS OF 5 PARKING SPACES AS A RESULT OF THE PROPOSED WORK. HANDICAP PARKING SPACES REQUIRED : 3 HANDICAP SPACES PROVIDED : 3
REQUIRED BICYCLE PARKING SPACES : 5 BICYCLE SPACES PROVIDED : 5
7. OVERALL SITE AREA = 49,040.5 SF +/- = 1.13 AC +/- REDEVELOPMENT PROJECT DISTURBED AREA = ±8,112 SQ. FT. (0.186AC)
8. IMPERVIOUS AREA SUMMARY: EXISTING IMPERVIOUS AREA = ±37,686 SQ. FT. (76.85%) PROPOSED IMPERVIOUS AREA = ±36,588 SQ. FT. (74.61%) IMPERVIOUS AREA DECREASED BY 986 SQ. FT. (0.023 AC) REPLACED/NEW PAVEMENT AREA = ±4,872 SQ. FT.
9. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF STRUCTURE, EDGE OF PAVEMENT OR CENTERLINE AS APPLICABLE UNLESS OTHERWISE NOTED.
11. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) (CURRENT EDITION).

12. MAXIMUM SLOPES ON ALL HANDICAPPED RAMPS NOT TO EXCEED 12:1.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
14. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
15. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN RIGHT-OF-WAY AND MUST BE STORED WITHIN THE SITE.
16. THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
17. APPLY TACK COAT TO ALL EXISTING PAVEMENT SURFACES THAT WILL BE IN CONTACT WITH NEW PAVEMENT AND ASPHALT OVERLAY AREAS.

NPDES NOTE:

DISTURBED AREA IS LESS THAN 1 ACRE (± 8,112 SQ. FT. / 0.186 ACRES). NO NPDES DOCUMENTS ARE REQUIRED, BUT THE CONTRACTOR SHALL IMPLEMENT NECESSARY EROSION CONTROL MEASURES AS NEEDED. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO SILT FENCING, FILTER SOCKS, TEMPORARY GRASSING, PERMANENT GRASSING ETC. TO CONTROL ANY SEDIMENT SOURCES FROM LEAVING THE SITE AND/OR SILTING EXISTING STORM PIPES.

GENERAL MAINTENANCE NOTE

UPON COMPLETION OF THE PROPOSED SITEMARK, THE PARKING LOT IS TO BE SEALED AND RESTRIPE. STRIPING IS TO MATCH EXISTING WITH THE ADDITION OF THE PROPOSED CROSSWALKS ON SITE. REFER TO SHEET C-4.0 FOR STRIPING DETAILS AND SPECIFICATIONS.

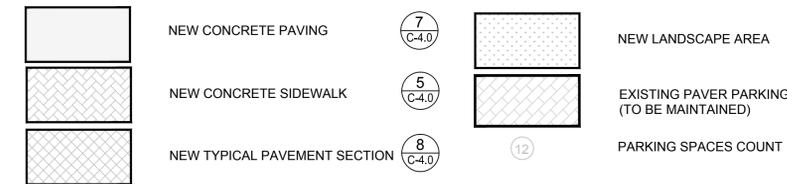
NOTE:

EXISTING SITE CONDITIONS AND UTILITIES WERE TAKEN FROM ASBUILT SURVEY PREPARED BY MSP & ASSOCIATES, LAND SURVEYING, INC., DATED 10/6/14. CONTRACTOR TO FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES & PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

CITY OF WILMINGTON GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
2. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.



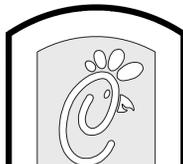
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5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
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Seal

ATKINS
1600 Riveredge Parkway NW
Suite 600 400
Atlanta, Georgia 30328
770-933-0280

STORE
Market Street
FSR #01106

5123 Market Street
Wilmington, NC

SHEET TITLE

SITE PLAN

Job No.: 100043483.02

Store : 01106

Date : 10/07/15

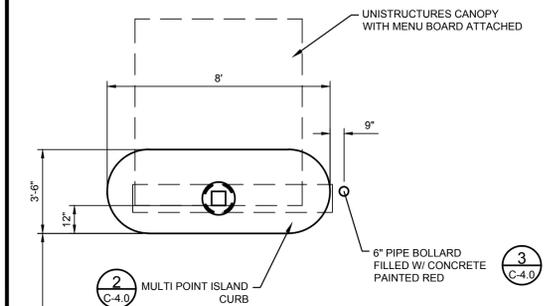
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Checked By : KMM

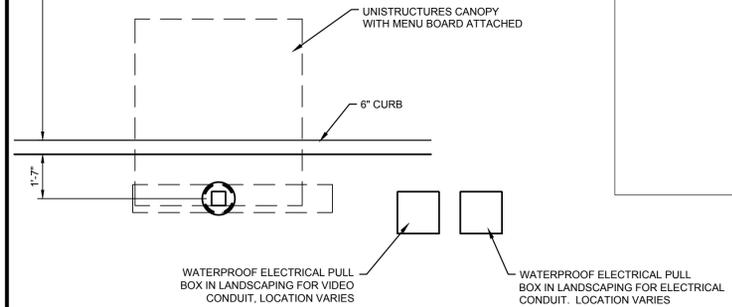
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C-2.0

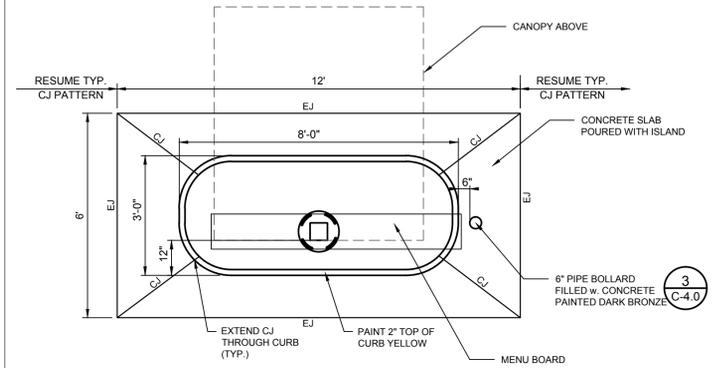
Dec 2, 2015 - 10:12am
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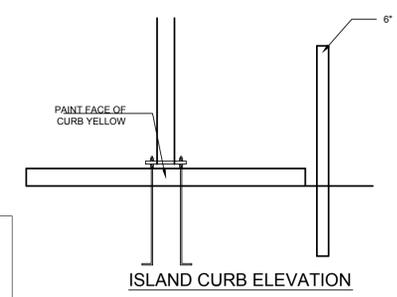
1
 C-4.0
CANOPY LAYOUT DETAIL
 NOT TO SCALE



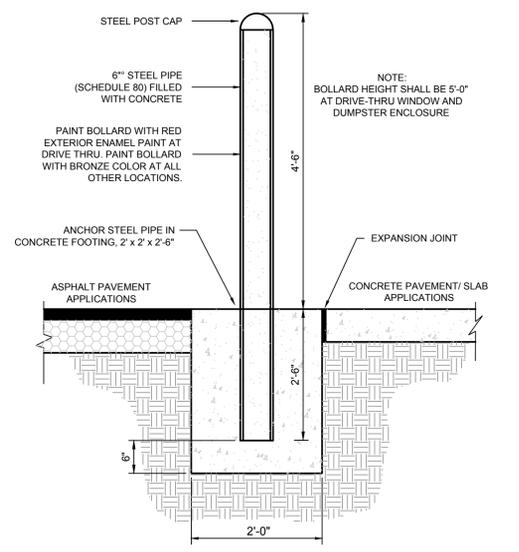
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 C-4.0
DRIVE THRU ORDER POINT ISLAND CURB
 NOT TO SCALE



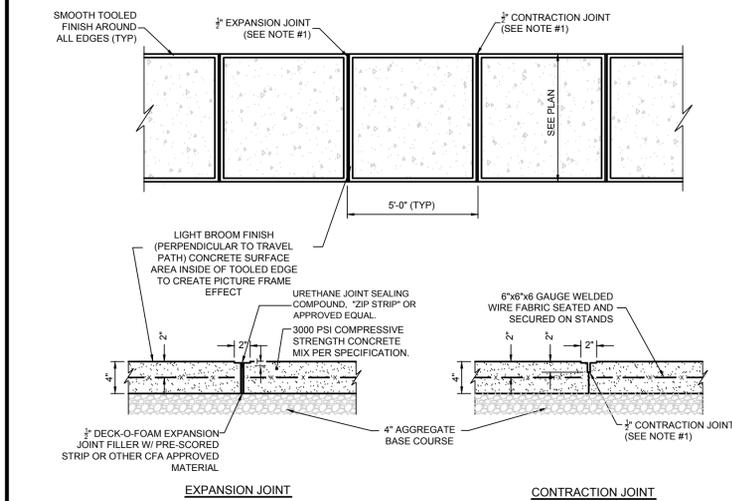
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 C-4.0
ISLAND CURB PLAN
 NOT TO SCALE



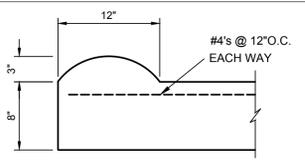
4
 C-4.0
ISLAND CURB ELEVATION
 NOT TO SCALE



5
 C-4.0
DRIVE THRU ORDER POINT BOLLARD
 NOT TO SCALE

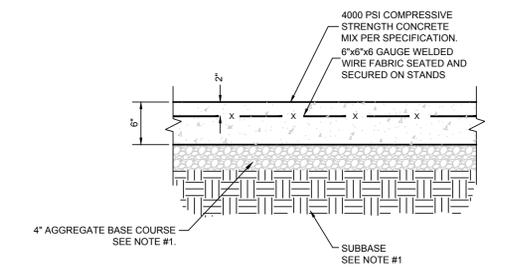


6
 C-4.0
TYPICAL CONCRETE SIDEWALK
 NOT TO SCALE



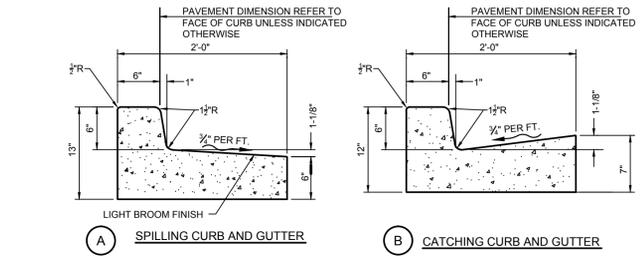
7
 C-4.0
ROLLOVER/MOUNTABLE CURB
 NOT TO SCALE

NOTES
 1. PRE-CUT EXPANSION JOINT MATERIAL SHALL BE USED IN ALL EXPANSION JOINTS.
 2. DUMMY JOINTS SHALL BE INSTALLED AT 10 FT. INTERVALS, MAXIMUM.
 3. INSTALL EXPANSION JOINTS EVERY 40 FT., MAXIMUM, AT ENDS OF RADIUS, AND A MINIMUM OF 5 FT. FROM INLET STRUCTURES.
 4. BREAK AS NEEDED TO ENSURE POSITIVE DRAINAGE.
 5. CONCRETE TO BE 5,000 P.S.I.
 6. MOUNTABLE CURB TO BE PAINTED YELLOW.



8
 C-4.0
CONCRETE PAVING DRIVE-THRU LANE
 NOT TO SCALE

NOTE:
 1. GENERAL CONTRACTOR SHALL CONTACT A GEOTECHNICAL ENGINEER FOR PAVEMENT SECTION REQUIREMENTS.

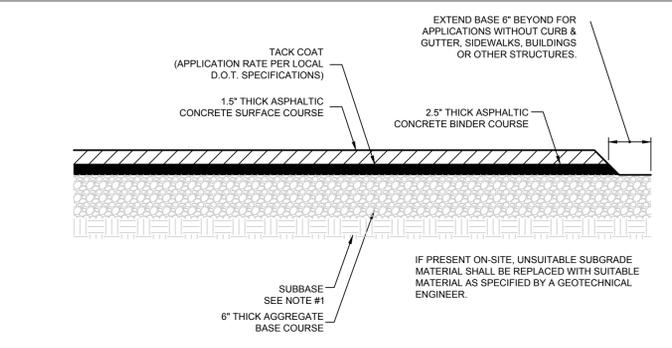


9
 C-4.0
SPILLING CURB AND GUTTER

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
 CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
 AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

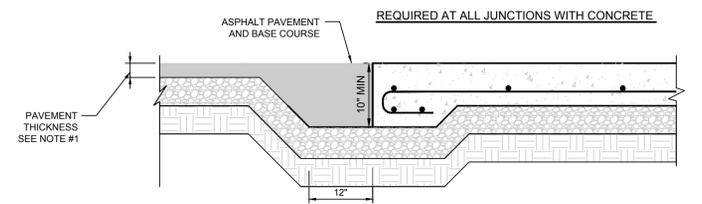
CONTRACTION JOINTS AT 10'-0\"/>

10
 C-4.0
24\"/>



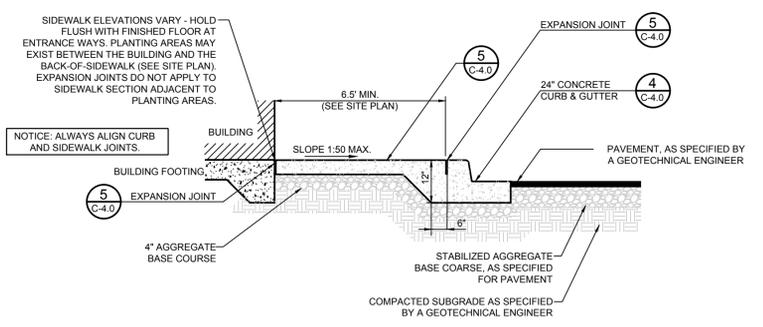
11
 C-4.0
TYPICAL PAVEMENT SECTION
 NOT TO SCALE

NOTE:
 1. GENERAL CONTRACTOR SHALL CONTACT A GEOTECHNICAL ENGINEER FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
 2. MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>

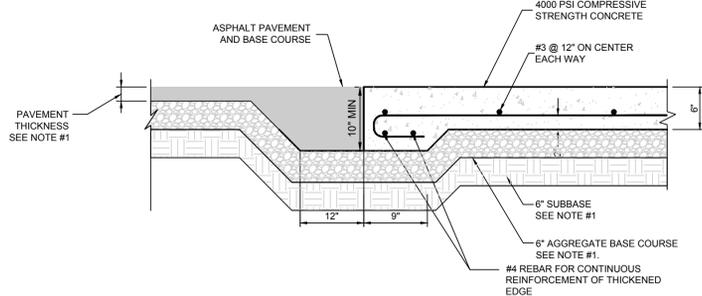


12
 C-4.0
PAVEMENT EDGE DETAIL
 NOT TO SCALE

NOTE:
 1. GENERAL CONTRACTOR SHALL CONTACT A GEOTECHNICAL ENGINEER FOR PAVEMENT SECTION REQUIREMENTS.

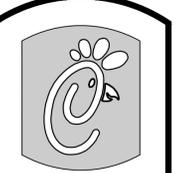


13
 C-4.0
SIDEWALK WITH CURB & GUTTER SECTION
 NOT TO SCALE



14
 C-4.0
CONCRETE APRON @ TRASH ENCLOSURE
 NOT TO SCALE

NOTE:
 1. GENERAL CONTRACTOR SHALL CONTACT A GEOTECHNICAL ENGINEER FOR PAVEMENT SECTION REQUIREMENTS.



Chick-fil-CO

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		

Mark Date By

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Mark Date By

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Seal

ATKINS

1600 Riveredge Parkway NW
 Suite 600 400
 Atlanta, Georgia 30328
 770-933-0280

STORE
 Market Street
 FSR #01106

5123 Market Street
 Wilmington, NC

SHEET TITLE

CONSTRUCTION
 DETAILS

Job No. : 100043483.02

Store : 01106

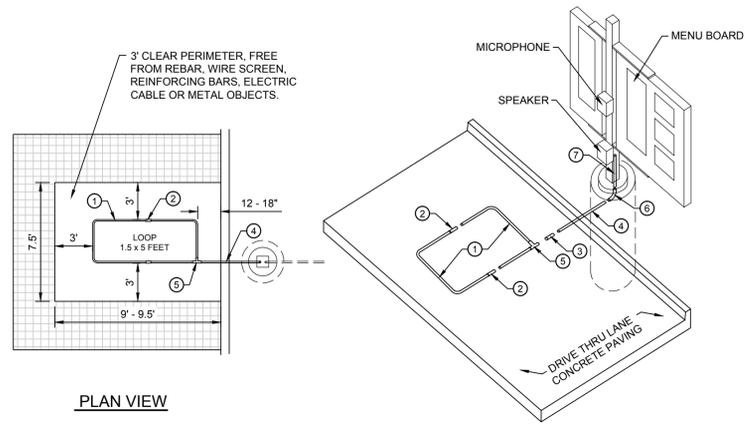
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Drawn By : BMB

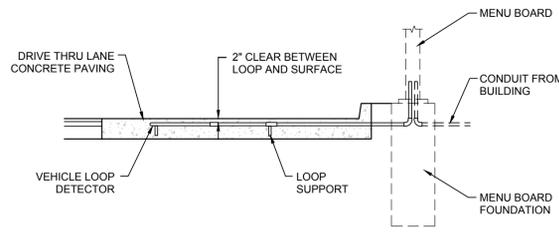
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C-4.0



ISOMETRIC VIEW

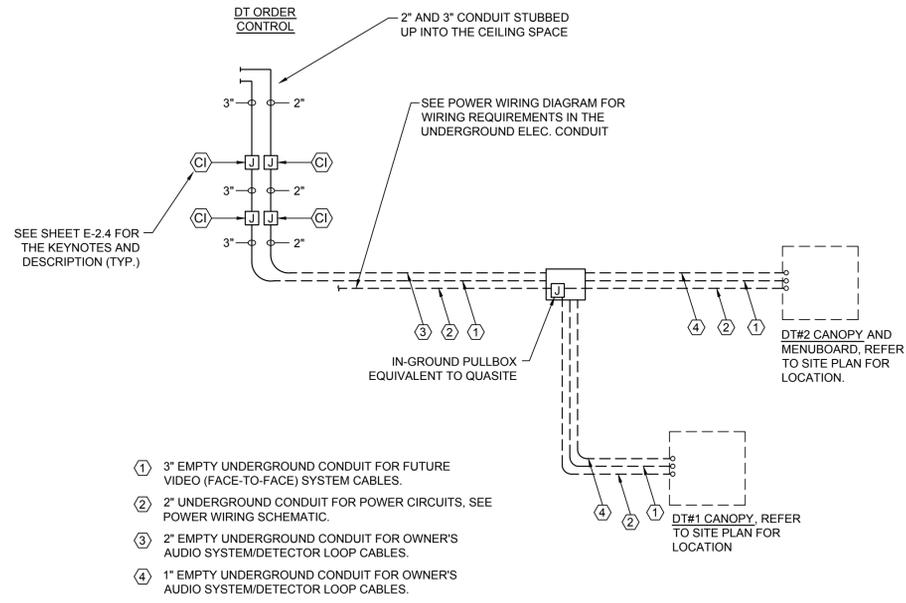


SECTION VIEW

19 MENU BOARD LOOP DETECTION SYSTEM
C-4.2 NOT TO SCALE

- NOTES:
 1. LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
 2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

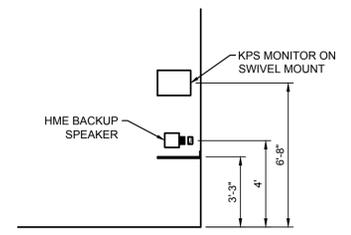
DETAIL AND DESIGN PROVIDED BY MH ELECTRONICS, INC.
 SEALING ENGINEER DOES NOT ASSUME ANY RESPONSIBILITY FOR THE DESIGN AND ACCURACY OF THIS DETAIL.



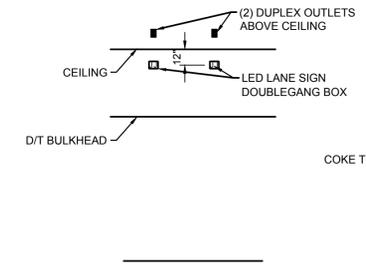
20 MULTI-LANE DRIVE THRU ORDER
C-4.2 AREA CONDUIT REQUIREMENTS
NOT TO SCALE

- SEE SHEET E-2.4 FOR THE KEYNOTES AND DESCRIPTION (TYP.)
- ① 3" EMPTY UNDERGROUND CONDUIT FOR FUTURE VIDEO (FACE-TO-FACE) SYSTEM CABLES.
 - ② 2" UNDERGROUND CONDUIT FOR POWER CIRCUITS, SEE POWER WIRING SCHEMATIC.
 - ③ 2" EMPTY UNDERGROUND CONDUIT FOR OWNER'S AUDIO SYSTEM/DETECTOR LOOP CABLES.
 - ④ 1" EMPTY UNDERGROUND CONDUIT FOR OWNER'S AUDIO SYSTEM/DETECTOR LOOP CABLES.

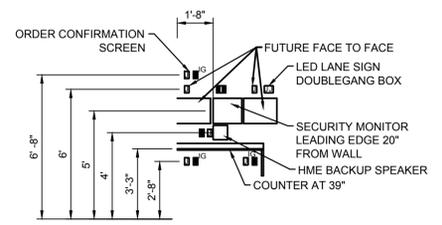
DETAIL SHOWN FOR COORDINATION/INFORMATION OF AREA INSIDE BUILDING.
 SEALING ENGINEER DOES NOT ASSUME ANY RESPONSIBILITY FOR THE DESIGN AND ACCURACY OF THIS DETAIL.



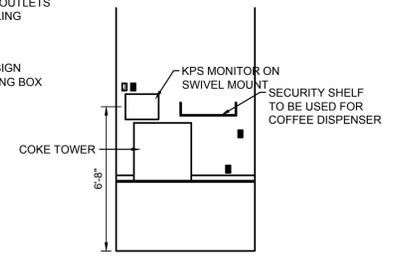
DUAL ORDER POINT ELECTRICAL LAYOUT DETAIL



HME ELECTRICAL LAYOUT DETAIL



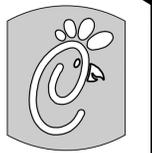
DUAL ORDER POINT ELECTRICAL LAYOUT DETAIL



DRIVE THROUGH POS LAYOUT DETAIL

21 ELECTRICAL & POS LAYOUT DETAILS
C-4.2 NOT TO SCALE

DETAIL SHOWN FOR COORDINATION/INFORMATION OF AREA INSIDE BUILDING.
 SEALING ENGINEER DOES NOT ASSUME ANY RESPONSIBILITY FOR THE DESIGN AND ACCURACY OF THIS DETAIL.



Chick-fil-A

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

ATKINS

1600 Riveredge Parkway NW
 Suite 600 400
 Atlanta, Georgia 30328
 770-933-0280

STORE
 Market Street
 FSR #01106

5123 Market Street
 Wilmington, NC

SHEET TITLE

CONSTRUCTION
 DETAILS

Job No.: 100043483.02
 Store : 01106
 Date : 10/07/15
 Drawn By : BMB
 Checked By : KMM

Sheet
C-4.2