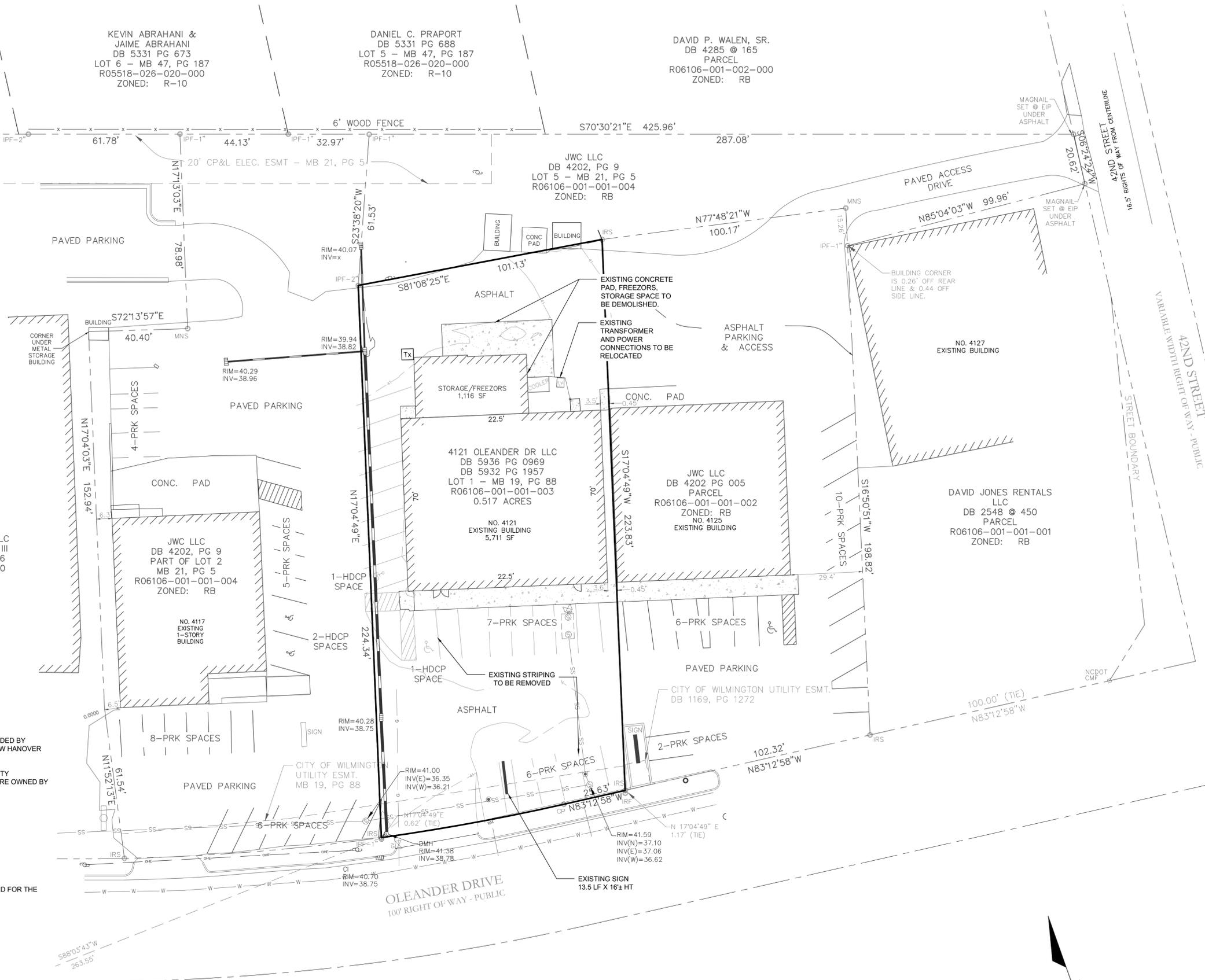


LOCATION MAP
NOT TO SCALE

LEGEND:

— OHE —	OVERHEAD ELECTRIC
— UTL —	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— TV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W —	WATER LINE
— SS —	SANITARY SEWER LINE
— SD —	STORM DRAINAGE LINE
— X —	FENCE (TYPE AS SPECIFIED)
— 18 —	EXISTING CONTOUR
— —	RIGHT OF WAY BOUNDARY
— —	BOUNDARY LINE

ANDERSON SQUARE, LLC
CONDOMINIUM—PHASE III
CONDO BK 15, PG 186
R05518-026-015-000
ZONED: RB



SITE INVENTORY NOTES

1. SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
2. EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY.
3. NO TREES ARE ON THE PROPERTY.
4. SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
5. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
6. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
7. NO 404 WETLAND AREAS EXIST ON THE SITE.
8. PORTIONS OF ASPHALT, CONCRETE, AND CURBING WILL BE DEMOLISHED AS NEEDED FOR THE PROPOSED IMPROVEMENTS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

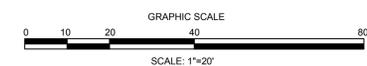
Approved Construction Plan

Name _____ Date _____

Planning _____

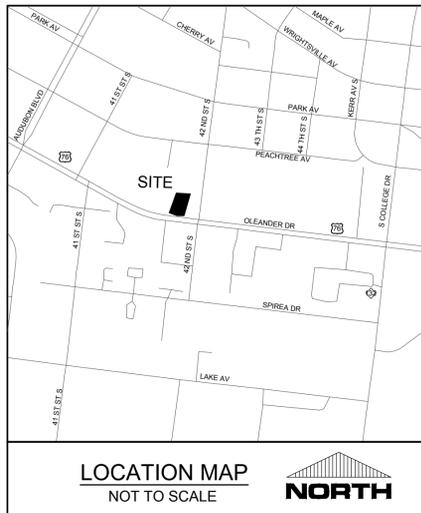
Traffic _____

Fire _____



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	
<p>CLIENT INFORMATION:</p> <p>PARAMOUNT ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	
<p>SITE INVENTORY PLAN (DEMOLITION PLAN) 4121 OLEANDER DRIVE CITY OF WILMINGTON NEW HANOVER COUNTY, NC</p>	
<p>PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.:</p>	<p>DRAWING INFORMATION: DATE: 3/10/18 DESIGNED: RRM DRAWN: CLM CHECKED: RPB</p>
<p>SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER 3/10/18 034354 817174 ENGINEER WILMINGTON BRANCH NOT SEPARATE</p>	
<p>C-2.0</p>	
<p>PEI JOB#: 15332.PE</p>	



SITE DATA
 PROJECT NAME: ADVANCE AUTO PARTS #5349
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403
 NHC PIN: R06106-001-001-003
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC
 SOURCE DEED: DEED BOOK 5932, PAGE 1957
 AREA: 22,509± SF OR 0.52± ACRES
 ZONING: RB (REGIONAL BUSINESS) (COW PRIORITY REDEV.)
 PROPOSED USE: RETAIL (AUTO PARTS SALES)
 CAMA LAND USE: URBAN
 EXISTING EASEMENTS: SEE PLAN

DIMENSION REQUIREMENTS

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'

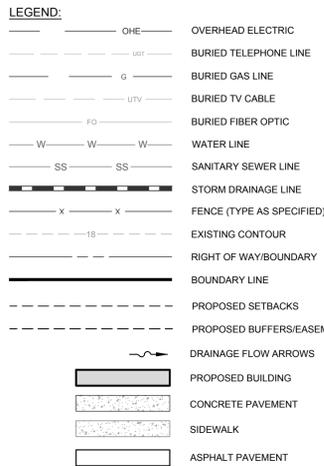
MAXIMUM HEIGHT: 35' (REQUIRED) / 16'-2" (PROVIDED)

BUILDING INFORMATION
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)
 EXISTING BUILDING LOT COVERAGE: 30.3%
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)
 TOTAL BUILDING AREA PROPOSED: 7,504 SF
 PROPOSED BUILDING LOT COVERAGE: 33.3%
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

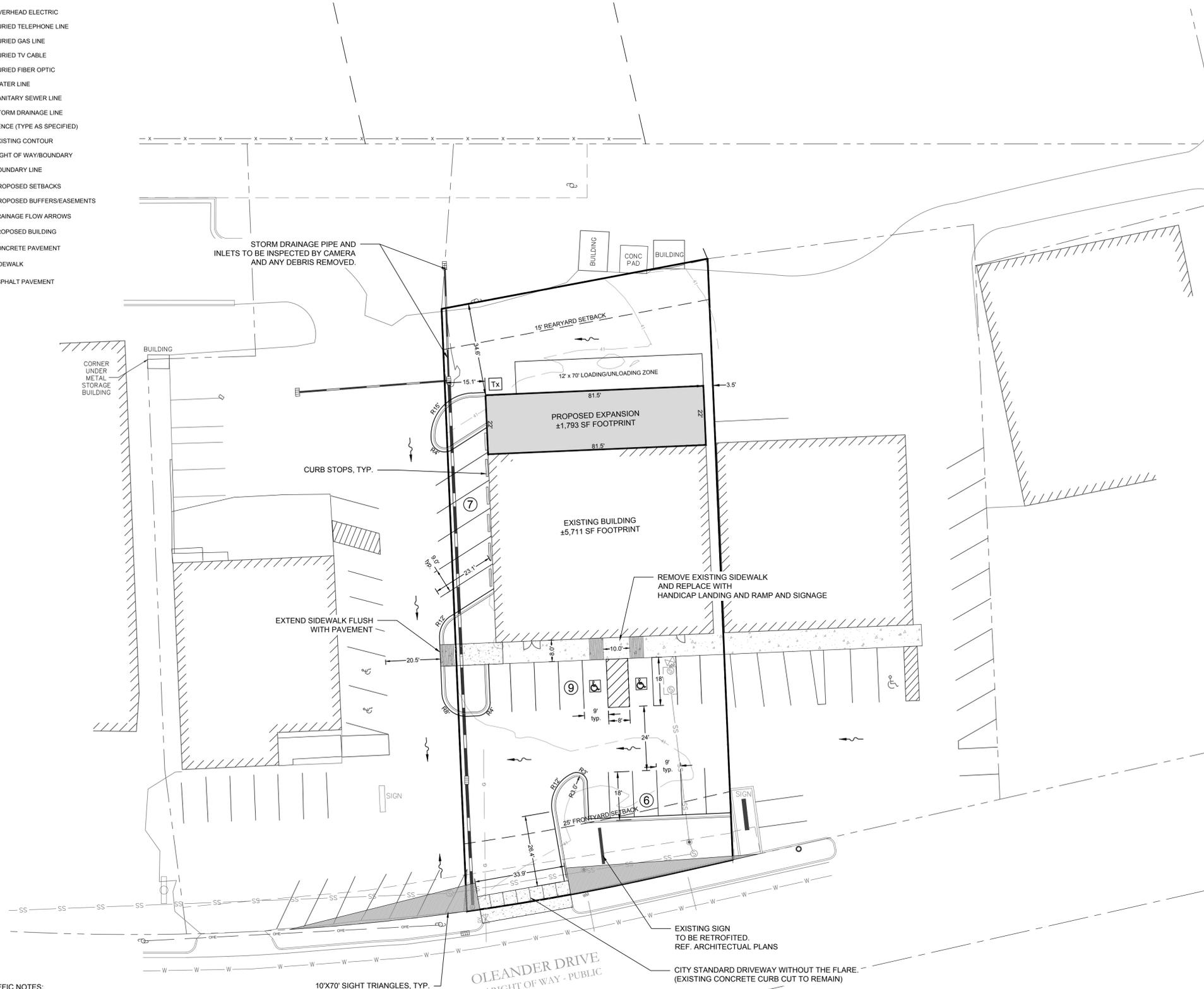
PARKING INFORMATION
 PARKING REQUIREMENTS (RETAIL):
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 18.8
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 37.5
 PROVIDED: 22 SPACES
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES
 HC SPACES PROVIDED: 2 SPACES

IMPERVIOUS CALCULATIONS
 EXISTING BUILDING: 6,827 SF
 EXISTING PAVEMENT: 13,956 SF
 EXISTING CONCRETE: 2,088 SF
 EXISTING TOTAL: 22,871 SF
 PROPOSED BUILDING EXP.: 1,793 SF
 IMPERVIOUS TO BE REMOVED: -4,729 SF
 PROPOSED TOTAL IMPERVIOUS: 19,935 SF
 NET DECREASE: -2,936 SF

- SITE INVENTORY NOTES**
- SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
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 - NO TREES ARE ON THE PROPERTY.
 - SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
 - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
 - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
 - NO 404 WETLAND AREAS EXIST ON THE SITE.
 - ALL UTILITIES TO REMAIN UNDERGROUND. GREASE TRAPS MAY NEED TO BE ABANDONED AND FILLED AND CLEANOUTS REROUTED. OVERHEAD POWER TO REMAIN. UTILITIES SHALL CONFORM TO CROSS-CONNECTION REGULATIONS OF THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
 - TRASH TO BE STORED IN ROLL-OUT CONTAINER(S) FROM BUILDING OR COMMUNITY DUMPSTER WITHIN THE SHARED ACCESS EASEMENT AMONG THE COMMERCIAL ADJOINERS.
 - NEW BUILDING SIGNS WILL BE LOCATED AND APPROVED BY THE NEW HANOVER COUNTY PLANNING DEPARTMENT. SITE FREESTANDING SIGNS OR MODIFICATIONS TO BE APPROVED BY CITY OF WILMINGTON.
 - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREA SHALL BE WHITE.
 - NO EXISTING DRIVEWAYS ARE TO BE CLOSED UNLESS NCDOT PLANS SPECIFY OTHERWISE.
 - HEATING/AIR EQUIPMENT IS LOCATED WITHIN THE BUILDING FOOTPRINT.
 - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
 - PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 - ANY GROUND LEVEL MECHANICAL EQUIPMENT TO BE SCREENED AS NECESSARY.
 - NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN 30-INCHES AND 10-FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.



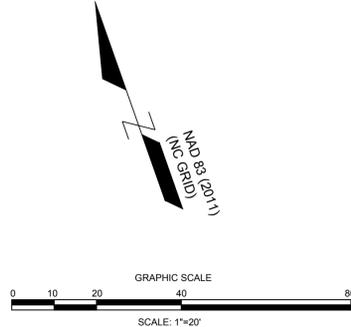
- TRAFFIC NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
 - TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

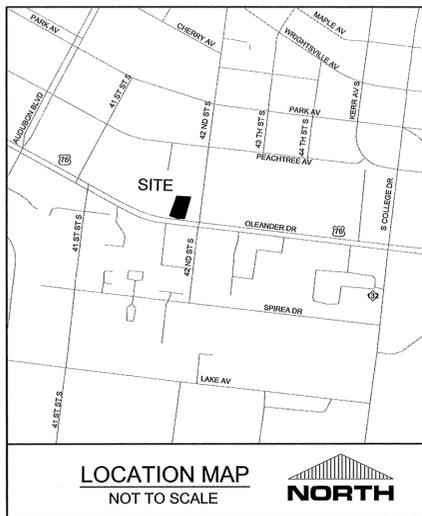
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____
 Signed: _____



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	
<p>CLIENT INFORMATION:</p> <p>4121 OLEANDER DRIVE, LLC 1131-B MILITARY CUTOFF ROAD WILMINGTON, NC 28405</p>	
<p>PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-0707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	
<p>SITE & UTILITY PLAN</p> <p>4121 OLEANDER DRIVE CITY OF WILMINGTON NEW HANOVER COUNTY, NC</p>	
<p>PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.</p>	<p>DRAWING INFORMATION: DATE: 3/10/18 DESIGNED: JES DRAWN: STR CHECKED: RFB</p>
<p>SEAL</p> <p><i>[Professional Engineer Seal]</i></p>	
<p>C-2.1</p> <p>PEI JOB#: 15332.PE</p>	



LEGEND:

— OHE —	OVERHEAD ELECTRIC
— UFT —	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— UTV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W — W — W —	WATER LINE
— SS — SS —	SANITARY SEWER LINE
— S — S —	STORM DRAINAGE LINE
— X — X —	FENCE (TYPE AS SPECIFIED)
— 10 —	EXISTING CONTOUR
— — —	RIGHT OF WAY BOUNDARY
— — —	BOUNDARY LINE
— — —	PROPOSED SETBACKS
— — —	PROPOSED BUFFER/EASEMENTS
→	DRAINAGE FLOW ARROWS
[Pattern]	PROPOSED BUILDING
[Pattern]	CONCRETE PAVEMENT
[Pattern]	SIDEWALK
[Pattern]	ASPHALT PAVEMENT

SITE DATA
 PROJECT NAME: ADVANCE AUTO PARTS #5349
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403
 NHC PIN: R06106-001-003
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 PROPOSED USE: RETAIL (AUTO PARTS SALES)
 CAMA LAND USE: URBAN
 EXISTING EASEMENTS: SEE PLAN

DIMENSION REQUIREMENTS

SETBACKS:	REQUIRED	PROVIDED
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SIDE	0'	15.1' L / 3.5' R
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EXISTING TOTAL	22,871 SF
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IMPERVIOUS TO BE REMOVED	-4,729 SF
PROPOSED TOTAL IMPERVIOUS	19,935 SF
NET DECREASE	-2,936 SF

LANDSCAPE CALCULATIONS

STREET YARD REQUIRED [(LENGTH OF PROPERTY FRONTAGE - DRIVEWAY) X 25] X 1/2 [(101 LF - 36 LF)] X 25 X 1/2 = 813 SF	813 SF
STREET YARD PROVIDED	1,329 SF
STREET YARD TREES REQUIRED (0.5 / 600 SF)	2
STREET YARD TREES PROVIDED	2
STREET YARD SHRUBS REQUIRED (3 / 600 SF)	6
STREET YARD SHRUBS PROVIDED	19

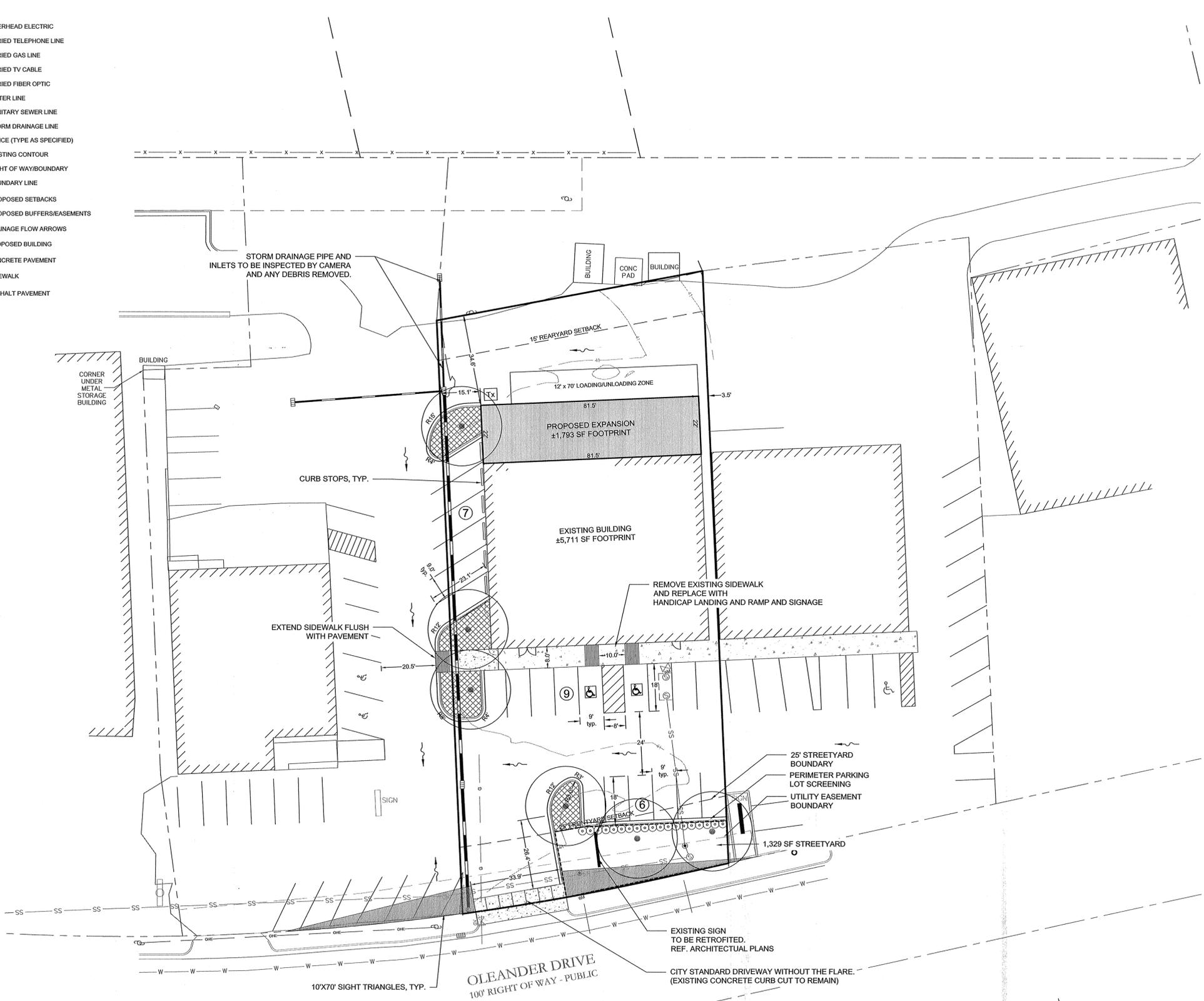
INTERIOR LANDSCAPING REQUIRED
 (6% OF VEHICULAR USE AREA)
 12,431 SF X 0.06 = 746 SF

INTERIOR LANDSCAPING PROVIDED
 (4 TREES @ 707 SF = 2,828)

PLANT SCHEDULE

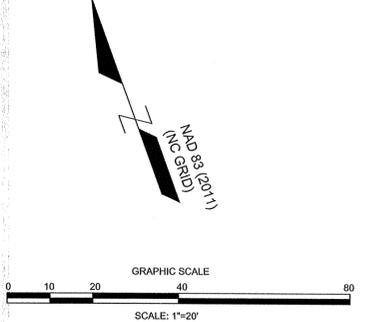
TREES	BOTANICAL NAME	SIZE	QTY	
[Symbol]	QUERCUS VIRGINIANA Southern Live Oak	2.5" CAL.	6	
SHRUBS	BOTANICAL NAME	CONT	QTY	
[Symbol]	ILEX VOMITORIA 'NANA' Dwarf Yaupon (5' x 5')	3 GAL	19	
GROUND COVERS	BOTANICAL NAME	CONT	SPACING	QTY
[Symbol]	TRACHELOSPERMUM ASIATICUM 'ASIATIC' Asiatic Jasmine	1 GAL	18" o.c.	420

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CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit #: _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
 4121 OLEANDER DRIVE, LLC
 1131-B MILITARY CUTOFF ROAD
 WILMINGTON, NC 28405

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

LANDSCAPE PLAN
 4121 OLEANDER DRIVE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

PROJECT STATUS
 CONCEPTUAL LAYOUT: _____
 FINAL DESIGN: _____
 RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION
 DATE: 08/14/18
 SCALE: 1"=20'
 DESIGNED: JAC
 CHECKED: JAC



L-1.0
 PEJ JOB#: 15332.PE