

**To:** Paramounte Engineering, Inc.  
**From:** Eryn Moller, Associate Planner; 910-341-4695  
**CC:** File; JM Dixon  
**Date:** 11/30/2016  
**Re:** Carmax of Wilmington

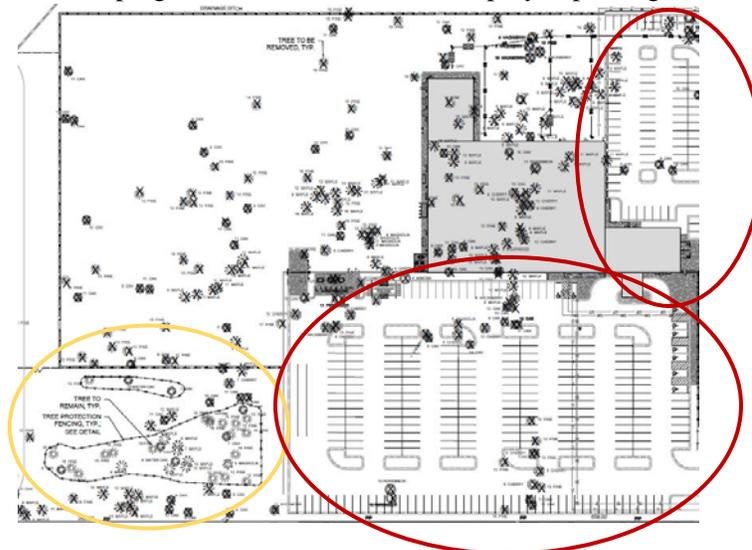
The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

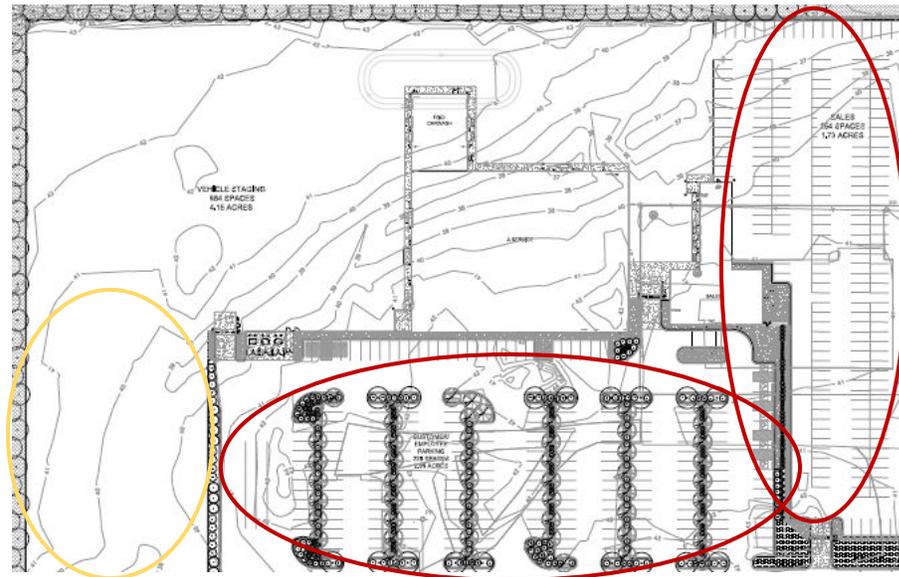
Site Plan Comments:

- Be sure to include the following stamp on all pages including the landscaping plan:

Approved Construction Plan	
Name	Date
Planning _____	
Traffic _____	
Fire _____	

- Show true North pointing towards the top of the vicinity map on page C-0.0.
- Sec. 18-60 (c) (5): Additional information in the site data table as follows:
  - Page C-2.1:
    - The required interior east side setback should be 25 feet.
    - Calculations for building lot coverage “5.93%” does not match Minimum Lot Coverage Provided “6.18%”.
    - Total provided parking spaces listed in the table does not match that listed on the site plan.
- The engineered plans do not match the landscaping plans:
  - The location and size of the vehicle staging area and protected trees ---
  - The landscaping islands in the customer/employee parking and sales lot ---





- Sec. 18-60 (c) (10): Show Location and dimension of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, designs of ingress and egress of vehicles to and from the site onto public streets and curb and sidewalk lines.
  - Must show sidewalk along Market Street whether the applicant is to provide or if DOT is going to provide.
  - Must also show the pedestrian connection to the sidewalk along Market Street
- Must show **zoning and land use** in addition to the names of property owners of adjacent properties, owner and deed book for properties adjacent to subject property.
- Please provide the detail, height and material proposed for the fence along Market Street.
  - In nonresidential districts no such visual obstruction shall exceed three (3) feet in height in any yard adjacent to a street.
- Provide a written statement explaining the method for handling solid waste disposal.
- Page C-6.2 showing the dumpster screen wall and gate detail, is missing. Please provide.
  - Screening shall be a minimum of 6 feet in height along the front or corner side of any lot and 8 feet in height along any side or rear property line.
- Show bicycle parking compliance.
  - Two proposed bike racks appear to be blocking the pedestrian walkway (#17) to the south of the building. Please relocated to an acceptable location.
- If a progress energy easement or power line exists on site, please contact Bill Wilder @ 383- 4042.
- A tree preservation/removal permit is required

Landscape Plan to Include:

- The engineered plans do not match the landscaped plans:
  - The location and size of the vehicle staging area
  - The landscaping islands in the customer/employee parking
- Please provide the landscaping island square footage on the site plan
  - All single planting islands measuring twelve (12) feet by eighteen (18) feet or having the equivalent square footage shall have at least one (1) tree. All double planting islands measuring twelve (12) feet by thirty-six (36) feet or having the equivalent square footage shall have at least two (2) small mature shade trees or one canopy tree. All larger planting islands will have additional trees in increments of one (1) tree for each additional two hundred (200) square feet if installing small shade trees or one (1) tree for every four hundred (400) square feet if installing canopy trees. All planting islands shall have additional ground cover or shrubbery from the approved plantings list to cover the entire landscaped island, subject to the walkway allowance as indicated below. At least seventy-five (75) percent of the trees required hereunder shall be of a large

shade/canopy species as defined in the approved plantings list that have or will have at maturity a DBH of at least twelve (12) inches. Small maturing shade trees may be planted where overhead power lines would interfere with normal growth or for site design considerations, if trees are maintained in their natural form.

- Amend the street yard calculation adjacent to market:
  - Market required street yard = 14,311.75sqft with 24 trees and 143 shrubs.  
Relocating trees does not allow you to reduce the required street yard trees.
- Section 18-481(g) calls for consecutive parking spaces to incorporate landscaped islands at the ends of all parking rows and within the rows, such that no parking space is located more than one hundred twenty (120) feet from a planting island or peninsula unless reconfiguration has been allowed pursuant to this Article to retain existing vegetation and provided the twenty percent canopy cover is achieved.
  - The site plan on page C-2.1 is different from the landscaping plan. Please revise and adhere to this standard for all parking areas including the sales lot.
- Sec. 18-462 (d) (4): Show note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. And no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
  - Show the tree protection detail and signage.
  - Show trees to be preserved.
  - Show the trees to be relocated and to where they will be relocated.
- Sec. 18-462 (d) (5): Show locations, dimensions and square footages of required street yard, foundation and parking lot landscaping.
- Sec. 18-462 (d) (6): Show details of required landscaping showing species, dimensions, and spacing of planted materials and the use and protection of existing vegetation.
- Sec. 18-462 (d) (13): Show proposed schedule for landscaping.
  - Type
  - Quantity
  - Size