

Genna Porter

From: Rob Gordon
Sent: Tuesday, November 24, 2015 12:15 PM
To: Richard Collier
Cc: Jim Diepenbrock; Richard (Rick) A. Moore; Genna Porter
Subject: Eng Review - Carolina Marine Terminal
Attachments: DOC112415-11242015130000.pdf

Looks like the impervious figures were corrected on p4 of the application, but not p3. I have no other comments. If the attached figures are correct, the Engineering review of the modification is complete. Thanks.

Robert Gordon, PE
Plan Review Engineer
City of Wilmington/Engineering
(910) 341-5856

From: Branch Smith [mailto:BrSmith@mckimcreed.com]
Sent: Friday, October 23, 2015 4:43 PM
To: Rob Gordon <Rob.Gordon@wilmingtonnc.gov>
Cc: Jim Diepenbrock <Jim.Diepenbrock@wilmingtonnc.gov>; Richard Collier <RCollier@mckimcreed.com>; Richard (Rick) A. Moore <RAMoore@mckimcreed.com>; Andy Tomlin (atomlin@admci.com) <atomlin@admci.com>
Subject: FW: Carolina Marine Terminal
Importance: High

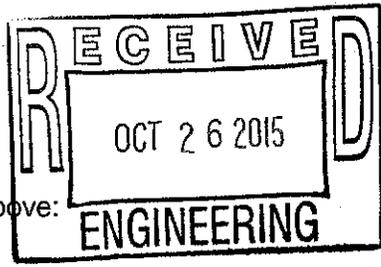
Rob:

Please find attached the revised plan sheets and impervious tables for Carolina Marine Terminal (hardcopies to follow). Dome #9 was originally planned to be 126' Dia, but is now 142' Dia as discussed before. NCDENR will be notified of these plan revisions and updated imperviousness as well as they still hold the permit. CAMA is also reissuing a plan revision as opposed to a Minor Mod. Rob Mairs is working on that with Andy. My last day is Monday, so copy Richard and Rick on any add. info.

Thanks,

Branch

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a. Contact information for person listed in item 3 above:

Street Address: 3330 River Road

City: Wilmington State: NC Zip: 28412

Phone: 910-395-4777 Fax: 910-791-4054 Email: atomlin@admci.com

Mailing Address (if different than physical address): _____

City: _____ State: _____ Zip: _____

IV. PROJECT INFORMATION

1. In the space provided below, briefly summarize how the stormwater runoff will be treated.

Stormwater runoff will be treated utilizing piped and paved and grassed swales collection to a central downstream wet detention pond along the Cape Fear River. The permit controls the 1.0" and 10-yr pre-post. The 50-yr was routed as well for emergency overflow freeboard. See 2009 permit docs and review by Derek Pielech.

2. Total Property Area: 806,813 square feet

3. Total Coastal Wetlands Area: 0 square feet

4. Total Surface Water Area: 0 square feet

5. Total Property Area (2) – Total Coastal Wetlands Area (3) – Total Surface Water Area (4) = Total Project Area: 806,813 square feet.

6. Existing Impervious Surface within Property Area: 438,032 square feet

7. Existing Impervious Surface to be Removed/Demolished: 0 square feet

8. Existing Impervious Surface to Remain: 438,032 square feet

9. Total Onsite (within property boundary) Newly Constructed Impervious Surface (*in square feet*):

Buildings/Lots	61,247
Impervious Pavement	24,712
Pervious Pavement (adj. total, with % credit applied)	0
Impervious Sidewalks	0
Pervious Sidewalks (adj. total, with % credit applied)	0
Other (describe) Gravel, Laydown Equipment Areas	13,129
Future Development	76,120 <u>72,920</u> <i>PS</i>
Total Onsite Newly Constructed Impervious Surface	175,208 <u>171,808</u> <i>PS</i>

10. Total Onsite Impervious Surface
(Existing Impervious Surface to remain + Onsite Newly Constructed Impervious Surface) = 609,840 square feet
171,808
~~538,720~~

11. Project percent of impervious area: (Total Onsite Impervious Surface / Total Project Area) x100 = 66 %