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DATE: 10.28.2013
TO: ProTrak
FROM: Bill McDow
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■ **LUMINA IV TOWNHOUSE [Initial plan review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual, Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

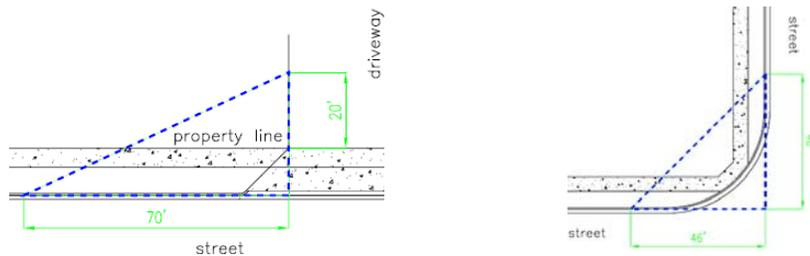
TECHNICAL STANDARDS – NON MAJOR THOROUGHFARES:

1. Revise the cross-section detail showing the existing street and the proposed widening. The pavement width is shown on the site plan as 18’ with 2’ valley curbing on each side.
2. Show the location of all fire hydrants on the site plan.
3. Add a stop sign and stop bar at the intersection of Allen’s Lane and Southerland Ave.
4. The minimum street corner radius is 35’. [7-5 CofW Tech Stds]

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

5. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [Chapter VII ,Detail SD 8-02 (curb) CofWTSSM]
6. Dimension driveway widths and tapers. [Sec.18-529 CofW LDC]
7. The minimum two-lane driveway width is 23’. [7-9 CofW Tech Stds]
8. A pedestrian access easement is required for the sidewalk outside of the public Right-of Way.
9. Show and apply the City’s 20’x70’ sight distance triangle at each driveway and the City’s 46’x46’ sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-

[529\(c\)\(3\)CofW LDC](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



TECHNICAL STANDARDS – PARKING:

10. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
11. Please provide details on the area in front of Building B, Units 2 & 3, (between the sidewalk and valley curb). If the area is made of asphalt or pavers, please note it on the site plans.
12. Please increase the minimum drive aisle width to Twenty-four feet (24') on the site plan.
13. Protection from vehicles is required around all required landscaped areas within vehicular areas. Provide protection from vehicles for the 2 large Oaks in front of Building B and the 40" Oak shown with valley curb going thru the center location of the tree. The vehicular access to unit 2 and unit 3 appears to be crossing the root area for both trees.
14. As the developer has chosen to provide automobile spaces, bicycle parking shall be provided in accordance with Sec. 18-528. Please add the required number and the proposed number to the site data table and graphically indicate on the plans the location of bike parking. [\[Sec.18-528 CofW LDC\]](#)

TECHNICAL STANDARDS – Barrier Free Design:

15. Please show location of curb ramps, handicap ramp(s) and signs and provide details on the plan. If the developer is using the Northern walkway or the southern portion of Allen's Lane to make connections to that adjacent property or the Retail sales office planned for the corner of Wrightsville Ave and Southerland Ave, curb ramps will be necessary.
16. The proposed stairs on the wooden walkway at the Northern portion of the site make the site inaccessible for Wheelchairs and bicycles. Please revise the connection and add a curb ramp at the end of the landscape island at the northern end of the walkway.

GENERAL NOTES TO ADD TO THE PLAN:

- A. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [\[SD 15-14 CofW Tech Stds\]](#)

MISCELLANEOUS:

- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.