



**Development Services**  
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**DATE:** 07.08.2013

**TO:** ProTrak

**FROM:** Bill McDow  
 Transportation Planning

Dave Brent  
 Traffic Engineering

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■ **ALMOST AIRLIE [Initial plan review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

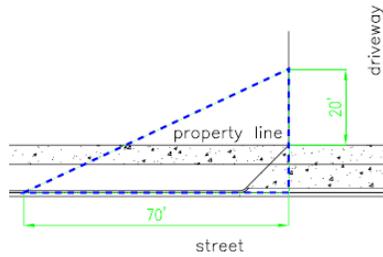


**BASE INFORMATION:**

- Property Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel on Wrightsville Ave. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

1. Dimension driveway widths and tapers. [[Sec.18-529 CofW LDC](#)]
2. Show and apply the City’s 20’x70’ sight distance triangle at each driveway on the site plan and landscaping plan. [[Sec.18-529\(c\)\(3\)CofW LDC](#)] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30”-10’. [[Sec.18-566 CofW LDC](#)]



**GENERAL NOTES TO ADD TO THE PLAN:**

- A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- B. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- C. Any broken or missing sidewalk panels and curbing will be replaced.
- D. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [\[SD 15-14 CofW Tech Stds\]](#)
- E. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [\[Sec.18-378 \(e\) CofW LDC\]](#)

**MISCELLANEOUS:**

- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.