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DATE: 06.03.2013

TO: ProTrak

FROM: Bill McDow
 Transportation Planning

Dave Brent
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■ **DUNKIN DONUTS [Initial plan review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

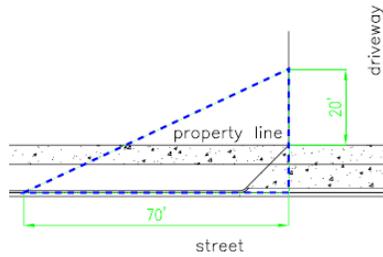
- Expand the plan to include the intersection of Oleander Dr. /College Rd. At a minimum, pavement markings on Oleander Dr. will have to be revised to alleviate congestion caused by right turns during the AM Peak travel period. Additional comments on this issue will be forthcoming.

TRAFFIC IMPACT:

- ❖ Per the Institute of Transportation Engineers (ite) Trip Generation 8th Edition, 2008, Microtrans trip Generation Software; the estimated Trip Generation for the proposed **LIST PROPOSED USE + INTENSITY** (ITE land use code 937) is 199 total driveway volume in the AM peak hours, 77 total driveway volume in the PM peak hours and 1473 average weekday 2-way driveway volume.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

1. Show driveways for adjacent lots and lot 3R on the site plan.
2. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
3. Show and apply the City's 20'x70' sight distance triangle at the one way driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

4. Dimension radii and parking aisles. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]
5. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [[Chapter VII, Detail SD 15-13 CofWTSSM](#)]
6. Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data. [[Sec.18-528 CofW LDC](#)]

TECHNICAL STANDARDS – Barrier Free Design:

7. The existing wheelchair ramp at the Oleander Driveway has a large crack in the concrete and the damaged concrete will have to be replaced.
8. The 5' sidewalk as proposed where adjacent to 90 degree parking spaces does not meet ADA requirements. An allowance for a 2.5' vehicle overhang must be considered. 4' of the sidewalk must remain clear for pedestrian use. [[Chapter VII, Detail SD 15-13 CofWTSSM](#)]
9. Please show location of handicap signs and provide details on the plan.

REVISIONS TO NOTES ON THE PLAN:

10. Please revise City Standard notes #5, #11 and #16 to reflect the following verbiage:
 - #5: Remove City Standard Notes #5
 - #11: All traffic control signs and markings off the right-of-way are to be maintained by the property owner **in accordance with MUTCD standards.**
 - #16: Remove City Standard Notes #16

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.