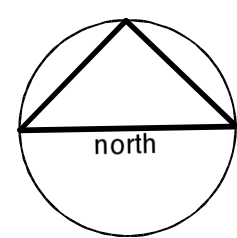


Project Site  
200 Market Street



Vicinity Map  
Scale: 1" = 400'

Site Data Table

Project and Parcel Information

Project Name: 200 Market Street  
 Project Address: 200 Market Street, Wilmington, North Carolina  
 Parcel ID Number: R048717-034-001-000  
 Zoning: Central Business District (CBD, Historic District Overlay (HDO))  
 Building Setbacks:  
 Front: 0' Required, 0' Proposed  
 Rear: 0' Required, 0' Proposed  
 Interior Side: 0' Required, 0' Proposed  
 Corner: 0' Required, 0' Proposed

Water and Sewer Capacity

Water (Current Use): 0 GPD  
 Water (Proposed Use): See Plumbing Sheets  
 Sewer (Current Use): 0 GPD  
 Sewer (Proposed Use): See Plumbing Sheets  
 Note: Property is undeveloped, therefore no current use.

Parcel and Building Data

Acreage: 0.12 acre (5116 s.f.)  
 Building Size and Area (Existing): 0.0 s.f. (no existing buildings on site)  
 Building Size and Area (Proposed): 72'-5" x 70'-1 1/2" (4953.14 s.f.)  
 Number of Units: 9  
 Number of Buildings: 1  
 Building Height: 27'-0"  
 Number of Stories: 2  
 Area per Floor: 4953.14 s.f.

Building Lot Coverage

Building Lot Coverage (Existing): 0.0% (no existing buildings on site)  
 Building Lot Coverage (Proposed): 96.82% (4953.14 s.f./5116 s.f.)

Impervious Area, CAMA

Impervious Surface Amount and Percentage:  
 4953.14 s.f. Building Footprint  
 81.82 s.f. Sidewalks at Recessed Entrances  
 5034.96 s.f. Total Proposed (98.4%) [100% impervious existing]

CAMA Land Use Classification:

Developed

Parking Requirements

	Provided	Required	Standard
Parking	0	0	Off-street parking not required in Central Business District.
Loading Spaces	0	0	Off-street parking not required in Central Business District.

Street Tree Requirements

	Frontage	Trees/Frontage	Required	Provided
Market Street	70'-1 1/2"	1 per 30' of frontage	2	2 (Existing)
South 2nd Street	72'-5"	1 per 30' of frontage	2	2 (New, see A2 for size and species)

General Notes

- Prior to any clearing, grading, or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted with the tree protection fencing.
- Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
- No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
- Call Traffic Engineering at 910-341-7888 48 hours prior to any excavation in the right-of-way.
- Water and sewer service shall meet Cape Fear Public Utility Authority (CFPUA) details and specifications.
- A utility cut permit is required for each open cut of a City street.
- Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3910 for information.
- If the contractor desires CFPUA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Any irrigation system supplied by CFPUA water shall comply with the CFPUA Cross Connection Control regulations. Call 910-343-3910 for information.
- Any irrigation system shall be equipped with a rain and freeze sensor.
- Any backflow prevention devices required by the CFPUA will need to be on the list of approved devices by USCFCOCHRR to ASSE.
- Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
- Contractor shall maintain all-weather access for emergency vehicles at all times during construction.
- Sidewalk panels broken during construction to be repaired or replaced in accordance with Wilmington Technical Standard and Specification manual.

Historic Preservation Commission Conditions

- All HVAC and mechanical equipment shall be located in an inconspicuous location and shielded from public view.
- The Historic Preservation Planner shall review and approve the design of any screening used on the property.
- The Historic Preservation Planner shall review and approve the final paint colors.
- The Historic Preservation Planner shall review and approve all exterior lighting.
- Any proposed landscaping shall be reviewed and approved by the city's Historic Preservation Planner in consultation with the City Arborist prior to installation.
- The City Arborist shall review and approve the removal or trimming of any trees for the project.
- The two existing street trees along Market Street shall be preserved and protected during construction.
- The Historic Preservation Planner shall review and approve the final design of the 2nd story fixed windows.
- The exterior entrance floor in the recessed entries shall be a contrast color to distinguish it from the public sidewalk. The Historic Preservation Planner shall review and approve the entrance floor color.
- The plywood sheathing used to construct the cantilever canopies shall be A/C grade with the A side being the finished side that would be seen from the underside of the canopy.
- Granite curbing along South 2nd Street shall be restored along the entire length of the property.
- A portion of the street adjacent to the subject site was patched with asphalt. The applicant shall restore brick pavers along the frontage of the property within the right-of-way of South 2nd Street as reviewed and approved by the Historic Preservation Planner and the Public Services Department.
- Any broken sidewalk panels shall be repaired or replaced in accordance with the Wilmington Technical Standard and Specification Manual.
- All Technical Review Committee requirements shall be in full compliance.
- All window, door, and transom window glazing shall be clear with no tinting.

Transporation Planning Notes

- All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
- All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- All parking stall markings and lane arrows within the parking areas shall be white.
- A utility cut permit is required for each open cut of a City street.
- Any broken or missing sidewalk panels and curbing will be replaced.
- A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plan.
- Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

**SOLID WASTE COLLECTION NOTE**  
 SOLID WASTE AND RECYCLING COLLECTION TO USE CENTRAL BUSINESS DISTRICT BAG-IT PROGRAM. DAILY PICK UP TIMES TO BE DETERMINED BY BUILDING TENANTS.

- SYMBOL LEGEND**
- Spot Elevation Marker (On Grade)
  - Existing Light Pole
  - Existing Water Meter
  - Existing Fire Hydrant

- LINETYPE LEGEND**
- OHP - Overhead Power Line
  - Center of Right-of-Way (R.O.W.)
  - Underground Fiber Optic Line
  - Underground Electric Service
  - Property Line
  - Underground Sanitary Sewer (with Directional Flow Arrow), Existing Unless Noted with "NEW"
  - Underground Water Service, Existing Unless Noted with "NEW"
  - Underground Storm Water, Existing Unless Noted with "NEW"

- SITE PLAN AND UTILITY NOTES**
- EXISTING CONDITIONS FROM SURVEY OF PROPERTY BY PORT CITY LAND SURVEYS, ALL DATED FEBRUARY 27, 2017 AD (UNLESS NOTED OTHERWISE)
  - OWNERSHIP OF UNDERGROUND WATER AND SEWER SERVICES BY CAPE FEAR PUBLIC UTILITY AUTHORITY
  - UNDERGROUND STORMWATER CONNECTION TO SERVICE BY CITY OF WILMINGTON
  - PROPOSED WATER USES EXISTING METER CONNECTED TO EXISTING MAIN
  - PROPOSED SEWER TO BE CONNECTED TO EXISTING MAIN PROJECT SCOPE DOES NOT INCLUDE NEW FIRE HYDRANT(S).

**Approved Construction Plan**

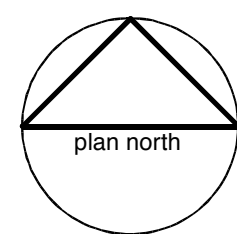
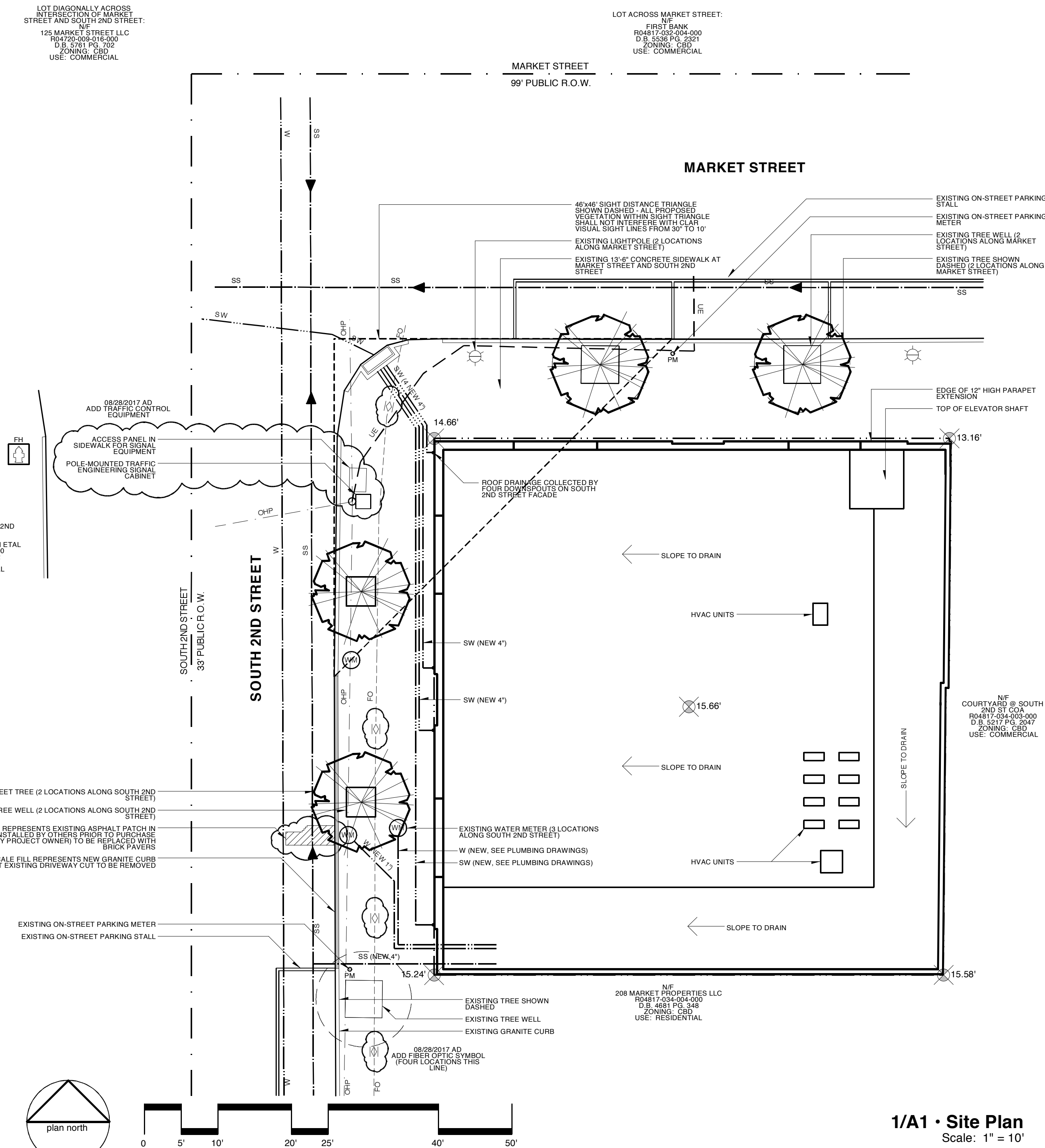
	Name	Date
Planning		
Traffic		
Fire		

**CITY OF WILMINGTON**  
 NORTH CAROLINA

Public Services - Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_

Scale: As Noted



Sheet Index

- A-1: Sheet Index, Vicinity Map, Site Plan, Site Data Table, General Notes, Historic Preservation Commission Conditions, Transportation Planning Notes
- A-2: Landscape Plan, Tree Protection Details, Tree Well Detail, Curb Details, Sidewalk Details
- A-3: First Floor Plan
- A-4: Second Floor Plan
- A-5: Market Street Exterior Elevation, South 2nd Street Exterior Elevation

Drawings Produced by:  
 Ted Trzos  
 57 Lee Drive  
 Wilmington, North Carolina 28401  
 910.362.1133

Drawing Issue Information:

date	description
04/21/2017 AD	Technical Review Committee application
06/07/2017 AD	Revisions addressing Jeff Watson's TRC comments.
08/28/2017 AD	For review by NCDOT.
08/28/2017 AD	Revisions address Bill McDow's TRC comments.

Project Address:  
 200 Market Street  
 Wilmington, North Carolina 28401

Project Owner:  
 200 Market Street, LLC  
 P.O. Box 2680  
 Ocean Isle Beach, North Carolina 28449

General Contractor:  
 (To Be Determined)

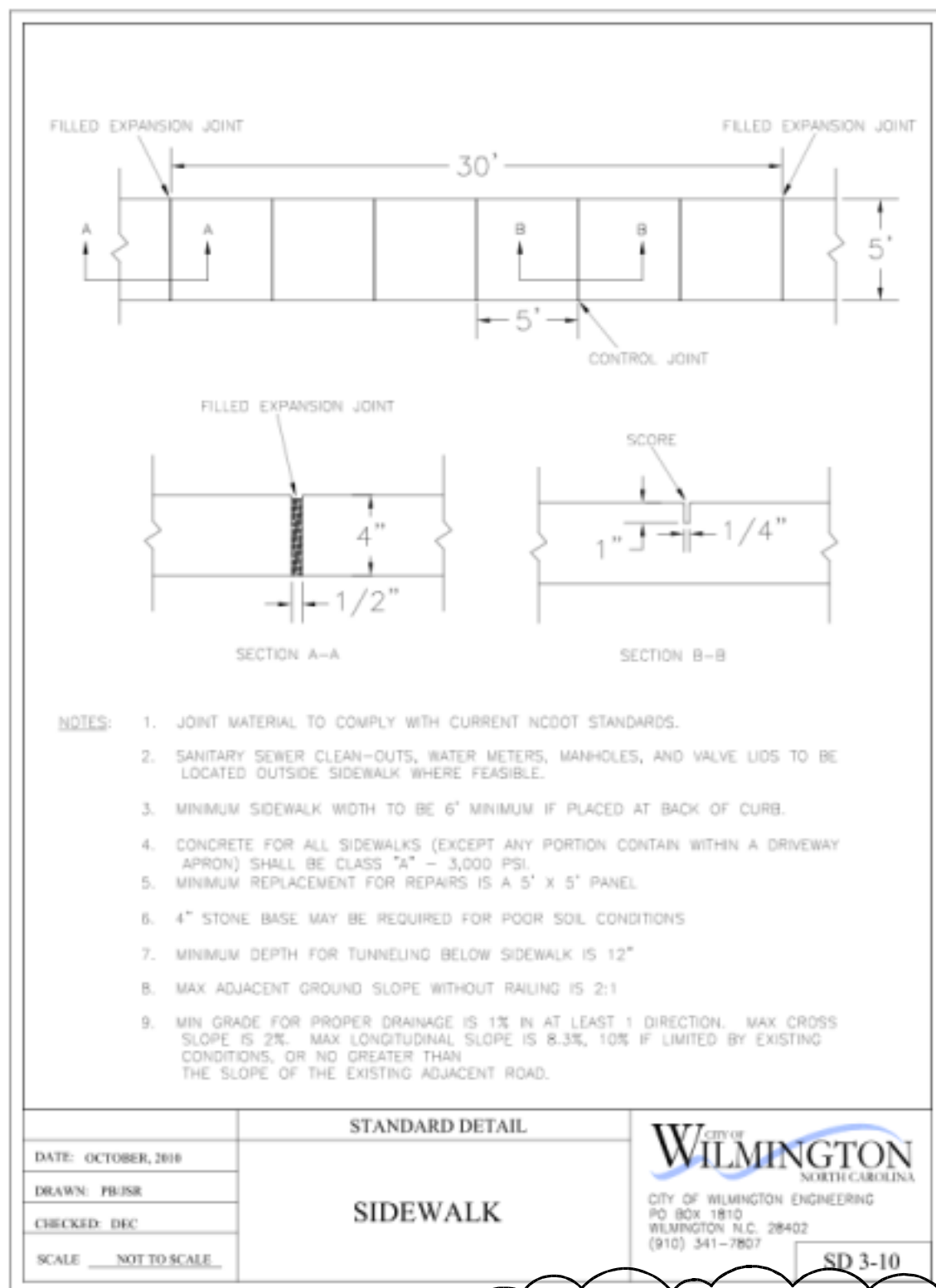
Date: 08/28/2017 AD

SHEET:  
**A1**

1/A1 • Site Plan  
 Scale: 1" = 10'

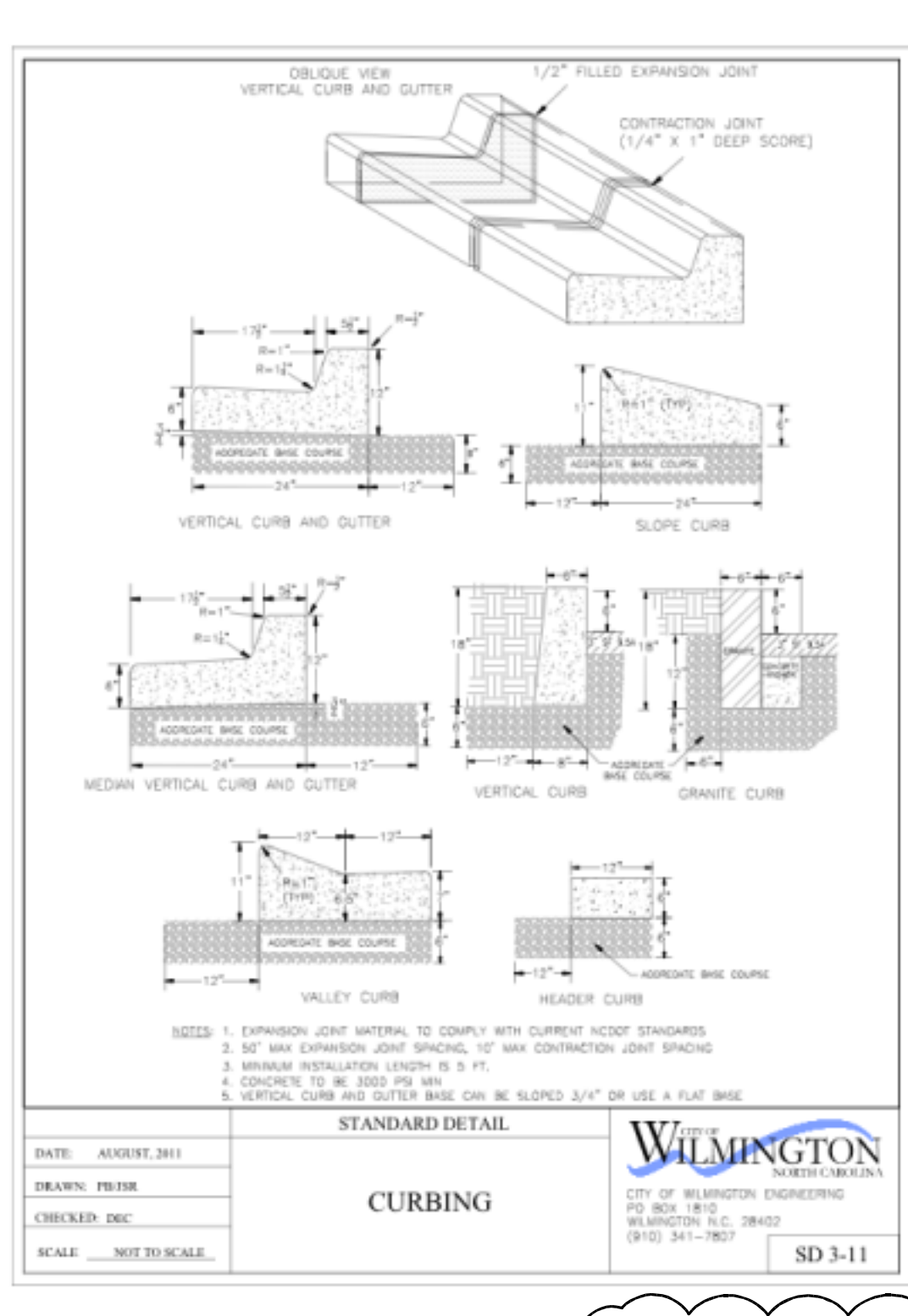
200 Market Street  
 Sheet Index, Vicinity Map, Site Plan, Site Data Table, General Notes, General Notes, Historic Preservation Commission Conditions, Transportation Planning Notes





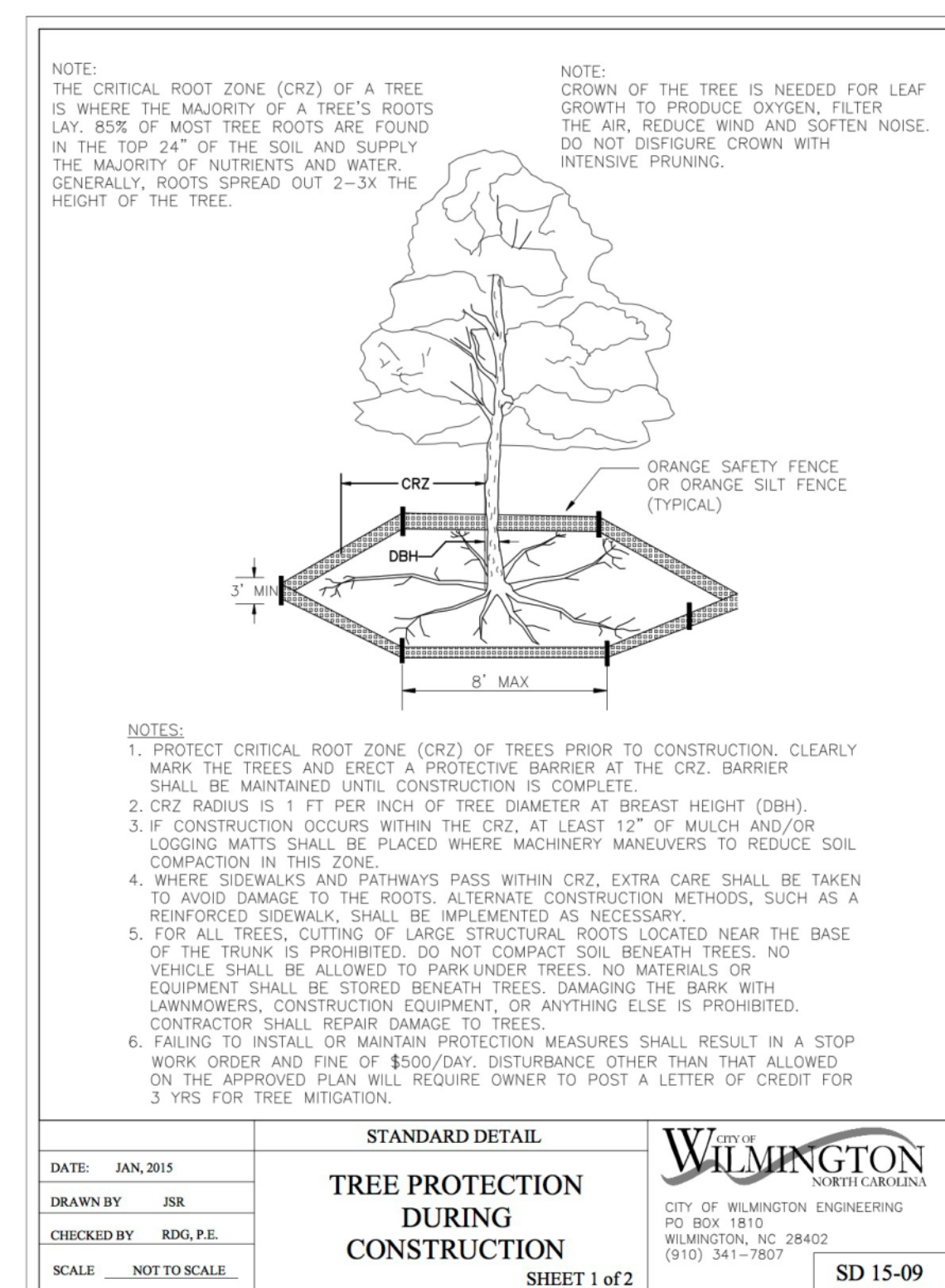
5/A2 • Sidewalk Details  
 Scale: Not to Scale

08/28/2017 AD  
 ADD DETAILS



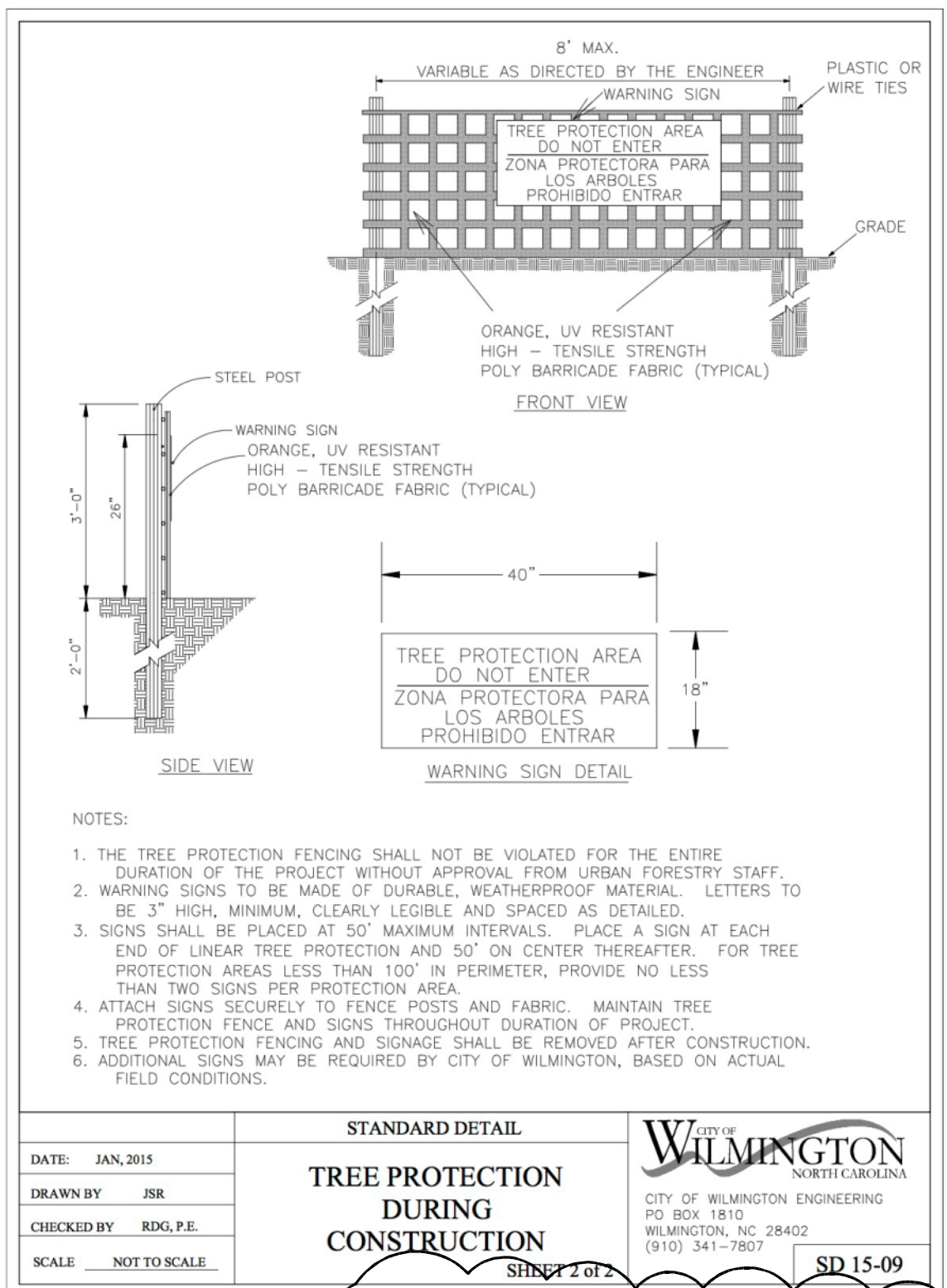
4/A2 • Curb Details  
 Scale: Not to Scale

08/28/2017 AD  
 ADD DETAILS



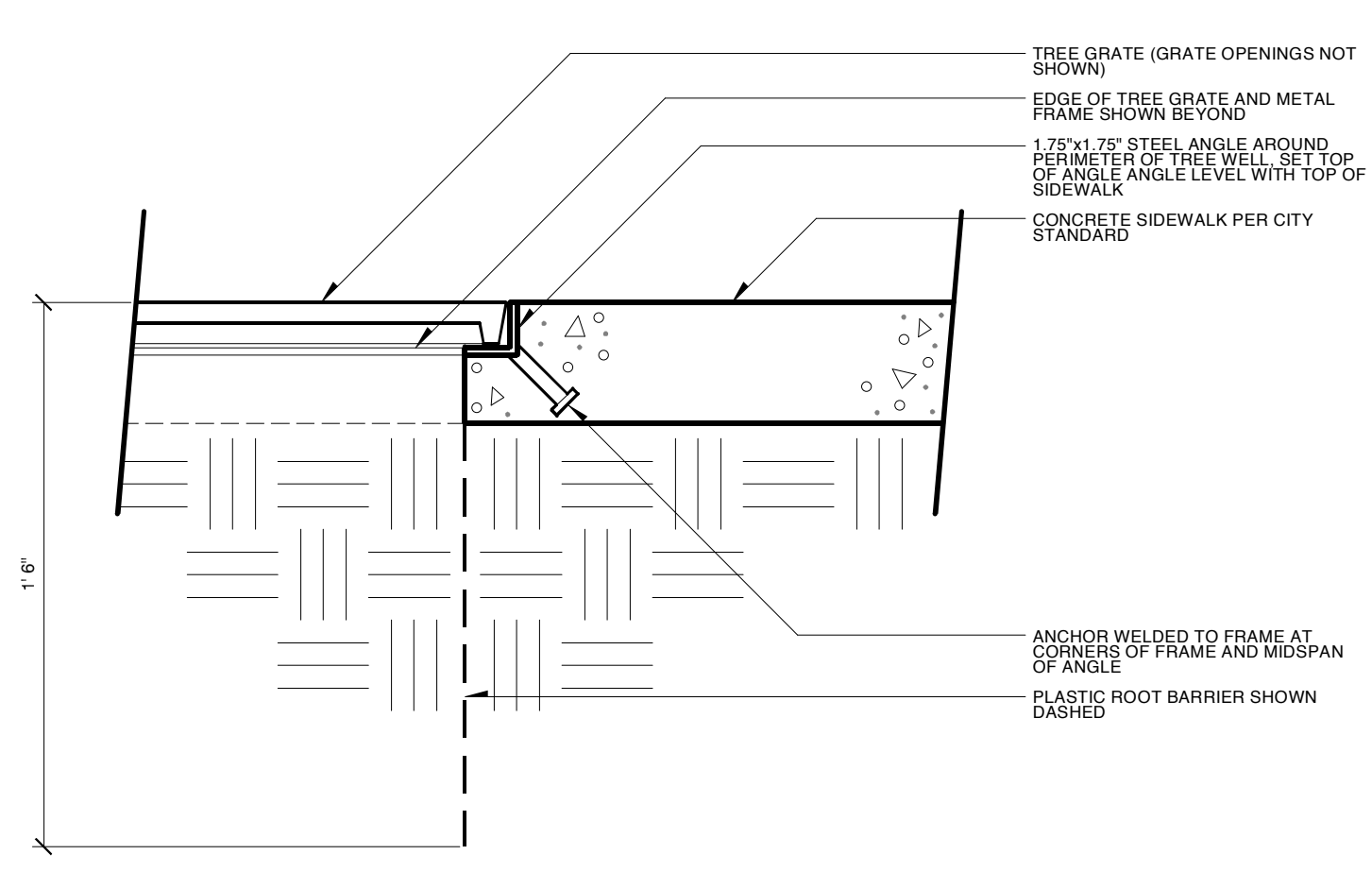
2/A2 • Tree Protection Details  
 Scale: Not to Scale

08/28/2017 AD  
 UPDATE DETAILS

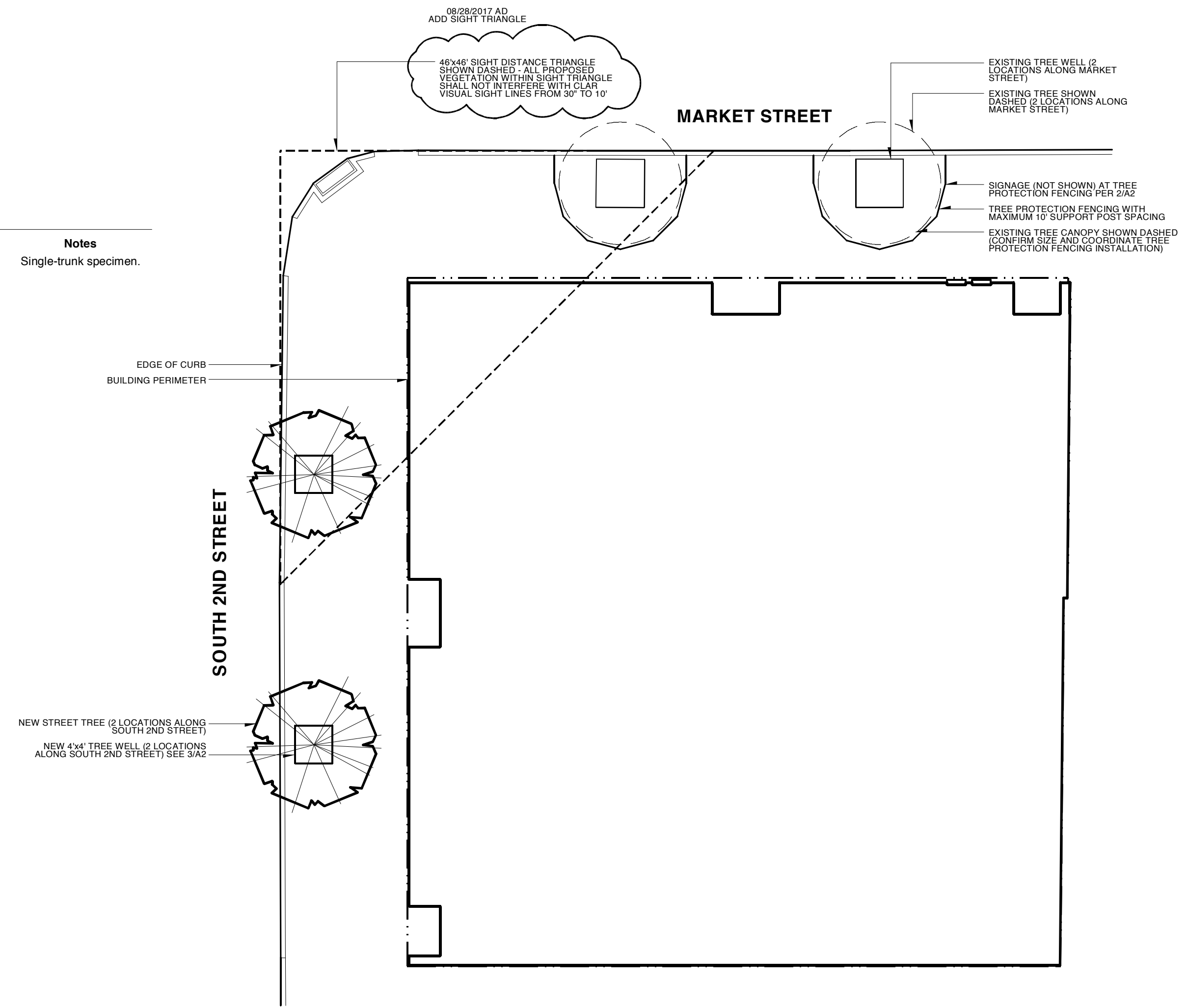
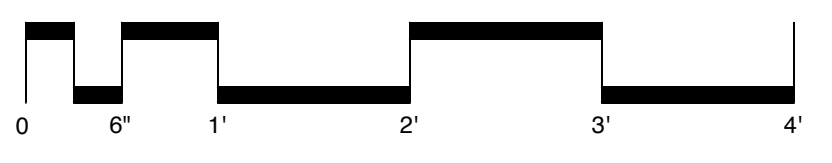


**Street Tree Schedule**

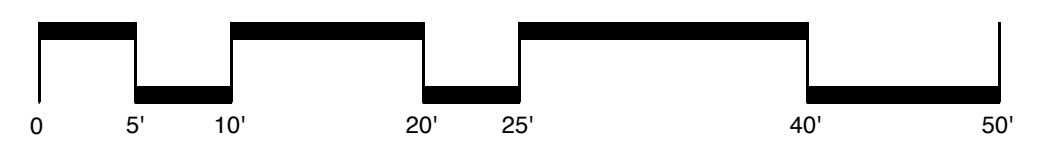
Location	Type	Height	Caliper	Quantity	Notes
South 2nd Street	Cercis reniformis (Oklahoma Redbud)	8' to 10' at time of planting	NA	2	Single-trunk specimen.



3/A2 • Tree Grate Detail  
 Scale: 2" = 1'-0"



1/A2 • Landscape Plan  
 Scale: 1" = 10'



Drawings Produced by:  
 Ted Trzos  
 57 Lee Drive  
 Wilmington, North Carolina 28401  
 910.362.1133

**Drawing Issue Information:**

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04/21/2017 AD	Technical Review Committee application
08/07/2017 AD	Revisions addressing Jeff Walter's TRC comments.
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200 Market Street  
 Landscape Plan, Tree Protection Details, Tree Well Detail, Curb Details, Sidewalk Details

Project Address:  
 200 Market Street  
 Wilmington, North Carolina 28401

Project Owner:  
 200 Market Street, LLC  
 P.O. Box 2680  
 Ocean Isle Beach, North Carolina 28449

General Contractor:  
 (To Be Determined)

Date: 08/28/2017 AD

SHEET:  
**A2**

Drawings Produced by:  
 Ted Trzos  
 57 Lee Drive  
 Wilmington, North Carolina 28401  
 910.362.1133

Drawing Issue Information:	
date	description
04/21/2017 AD	Technical Review Committee application

**200 Market Street**  
**First Floor Plan**

Project Address:  
 200 Market Street  
 Wilmington, North Carolina 28401

Project Owner:  
 200 Market Street, LLC  
 P.O. Box 2680  
 Ocean Isle Beach, North Carolina  
 28449

General Contractor:  
 (To Be Determined)

Date: 05/04/2017 AD

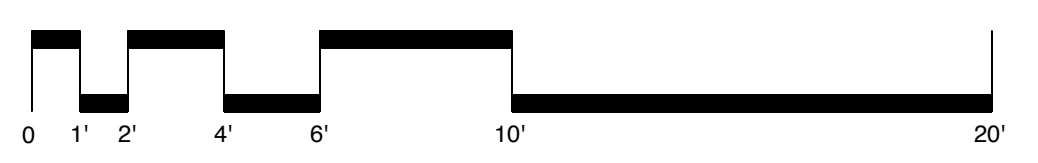
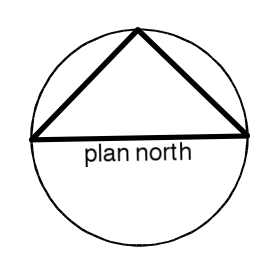
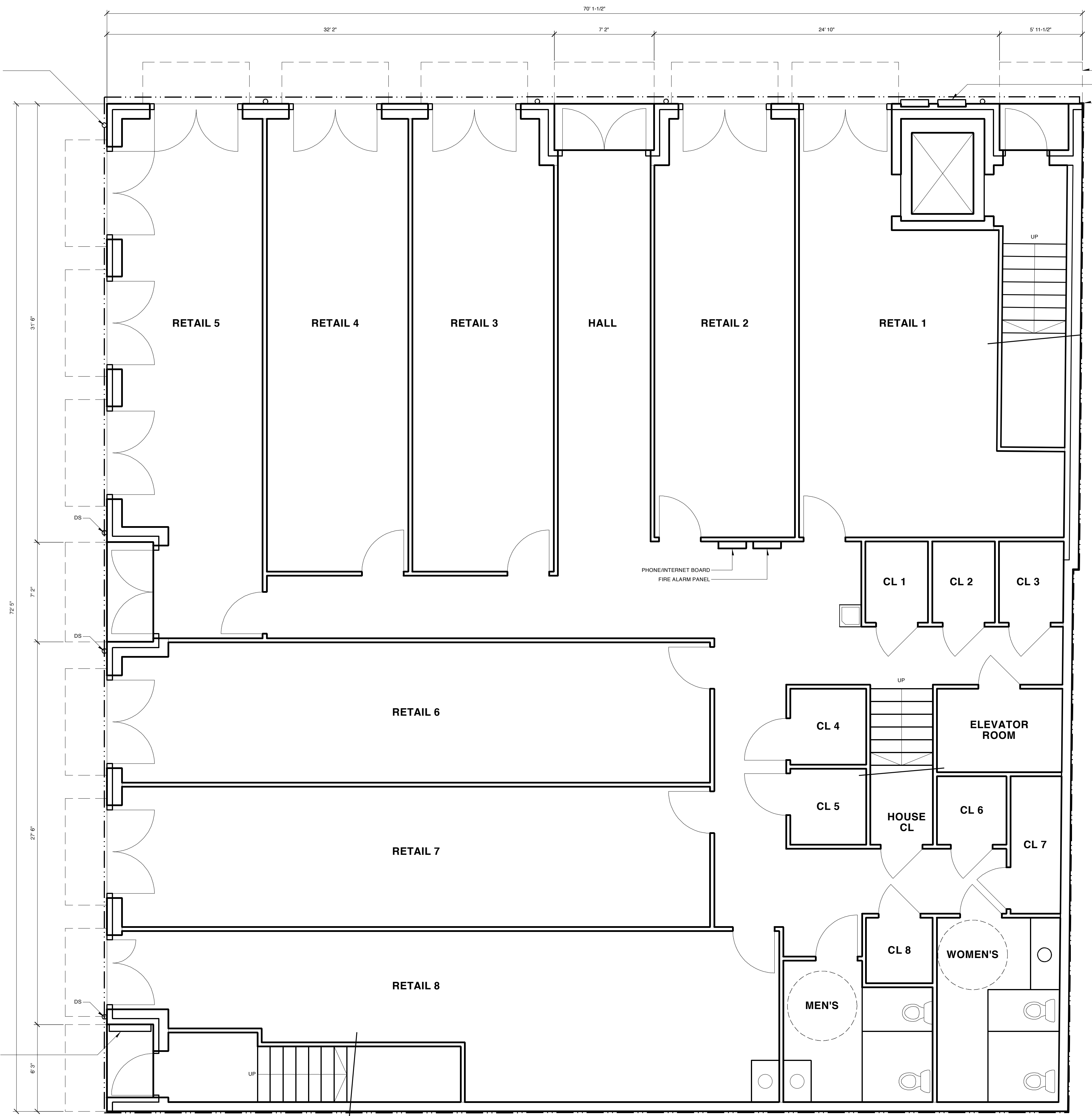
SHEET:  
**A3**

MARKET STREET

DOWNSPOUTS (DS) AT FOUR LOCATIONS  
 ALONG SOUTH 2ND STREET FACADE

AWNINGS AND CANOPIES SHOWN  
 DASHED ABOVE  
 (2) DISPLAY CASES  
 PROPERTY LINE SHOWN WITH  
 LONG/DOUBLE-SHORT DASHED LINE

SOUTH 2ND STREET



**1/A3 - First Floor Plan**  
 Scale: 1/4" = 1'-0"

Drawings Produced by:  
 Ted Trzos  
 57 Lee Drive  
 Wilmington, North Carolina 28401  
 910.362.1133

Drawing Issue Information:	
date	description
04/21/2017 AD	Technical Review Committee application
06/07/2017 AD	Revisions addressing Jeff Walton's TRC comments.
08/28/2017 AD	For review by NCDOT.
08/28/2017 AD	Revisions address Bill McDow's TRC comments.

200 Market Street  
 Second Floor Plan

Project Address:  
 200 Market Street  
 Wilmington, North Carolina 28401

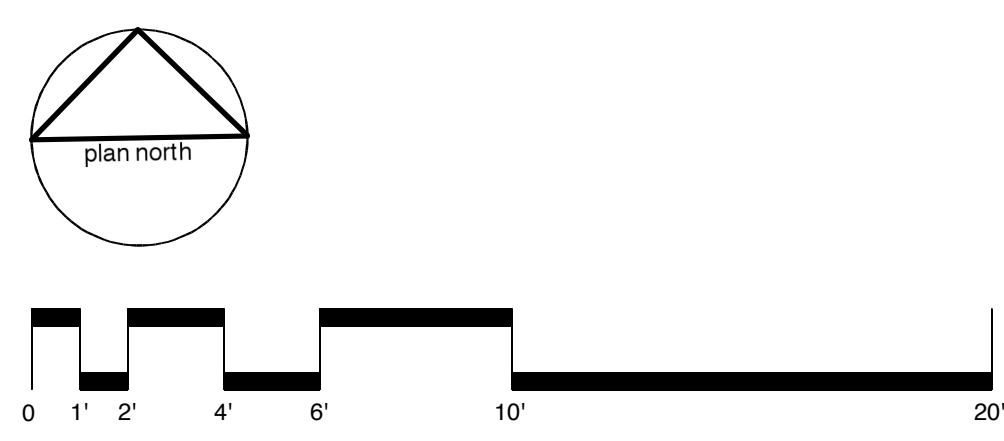
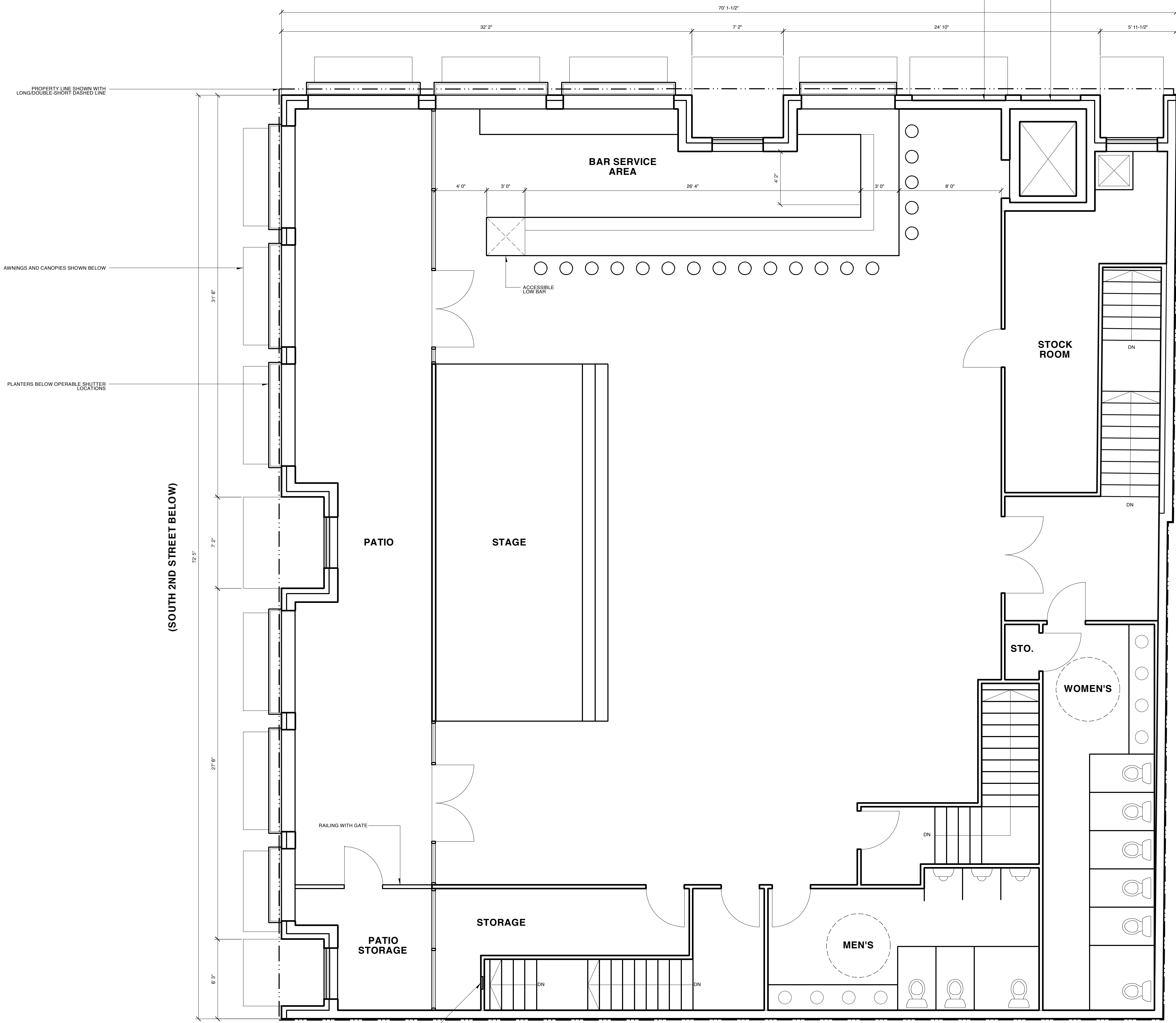
Project Owner:  
 200 Market Street, LLC  
 P.O. Box 2680  
 Ocean Isle Beach, North Carolina 28449

General Contractor:  
 (To Be Determined)

Date: 08/28/2017 AD

SHEET:  
**A4**

(MARKET STREET BELOW)

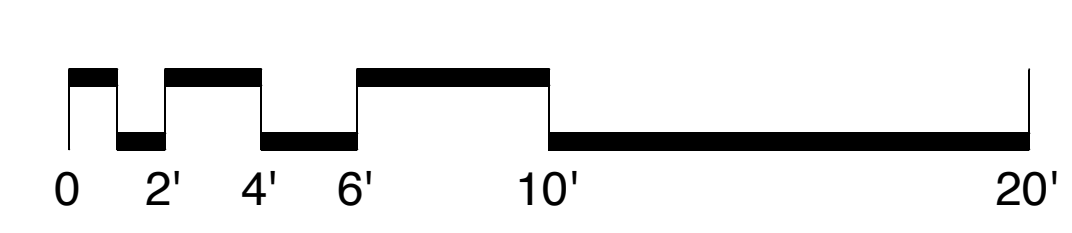


**1/A4 • First Floor Plan**  
 Scale: 1/4" = 1'-0"



Drawings Produced by:  
 Ted Trzos  
 57 Lee Drive  
 Wilmington, North Carolina 28401  
 910.362.1133

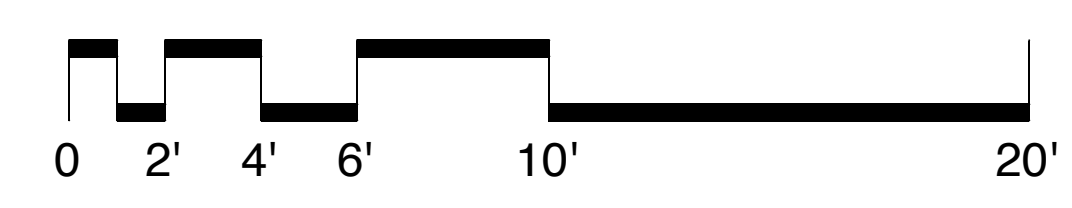
Drawing Issue Information:	
date	description
04/21/2017 AD	Technical Review Committee application
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08/28/2017 AD	For review by NCDOT
08/28/2017 AD	Revisions address Bill McDow's TRC comments



**MARKET STREET FACADE GLAZING AREA:**  
 404.43 S.F. (DOOR AND TRANSOM UNITS) DIVIDED BY 701.27 S.F.  
 (AREA OF FIRST FLOOR MARKET STREET ELEVATION)  
**57.67%**

**WINDOW GLAZING NOTE:**  
 ALL WINDOW, DOOR, AND TRANSOM GLAZING SHALL BE CLEAR WITH NO LINTING.

**2/A5 • South 2nd Street Exterior Elevation**  
 Scale: 1/4" = 1'-0"



**SOUTH 2ND STREET FACADE GLAZING AREA:**  
 454.21 S.F. (DOOR AND TRANSOM UNITS) DIVIDED BY 724.17 S.F.  
 (AREA OF FIRST FLOOR SOUTH 2ND STREET ELEVATION)  
**62.72%**

**WINDOW GLAZING NOTE:**  
 ALL WINDOW, DOOR, AND TRANSOM GLAZING SHALL BE CLEAR WITH NO LINTING.

**1/A5 • Market Street Exterior Elevation**  
 Scale: 1/4" = 1'-0"

**200 Market Street**  
**Market Street Exterior Elevation, South 2nd Street Exterior Elevation**

Project Address:  
 200 Market Street  
 Wilmington, North Carolina 28401

Project Owner:  
 200 Market Street, LLC  
 P.O. Box 2680  
 Ocean Isle Beach, North Carolina  
 28449

General Contractor:  
 (To Be Determined)

Date: 08/28/2017 AD

SHEET:  
**A5**