



**Planning, Development
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DATE: 12.05.2017
TO: ProTrak
FROM: Mitesh Baxi
 Traffic Engineering

■ **DOLLAR GENERAL-WILMINGTON-CAROLINA BEACH [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

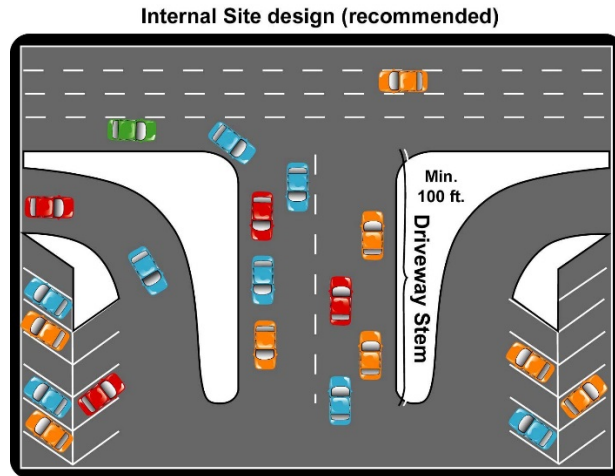
- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

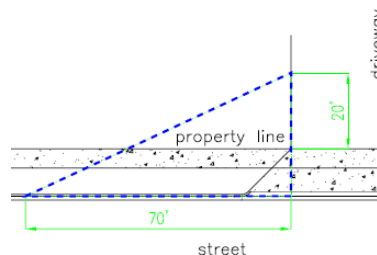
TECHNICAL STANDARDS – DRIVEWAY ACCESS (Major Thoroughfares):

1. For any development with an internal roadway network, a minimum storage of 100 feet measured from the near edge of the right-of-way will be required before any crossing or left-turning conflicts are allowed. ([Page 33-34 of NCDOT policy of Street and driveway access to North Carolina Highways](#)). Access driveway to the property does not fully satisfy this requirement. Please consider revising.



TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

2. Show driveways for adjacent lots and lots across the street.
3. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [[Chapter VII ,Detail SD 3-03.3 & SD 3-03.4 \(curb\) CofWTSSM](#)]
4. Dimension driveway widths and tapers. [[Sec.18-529 CofW LDC](#)]
5. Provide the curb section details as per [SD 3-11 CofW Tech Stds.](#)
6. Show and apply the City's 20'x70' sight distance triangle at the driveway on the site plan [[Sec.18-529\(c\)\(3\)CofW LDC](#)] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [[Sec.18-556 CofW LDC](#)]



TECHNICAL STANDARDS – PARKING:

7. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [[Sec.18-526 CofW LDC](#)]. Please provide a turning movement analysis for the trash and delivery vehicle.
8. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [[Chapter VII, Detail SD 15-13 CofWTSSM](#)]
9. Add the number of bicycle spaces required and proposed, to the site data. [[Sec.18-528\(f\) CofW LDC](#)]

TECHNICAL STANDARDS – Barrier Free Design:

10. Please show the location of handicap ramp and signs on the layout plan.
11. The typical handicap sign detail on the plan is not as per ADA and City standards. [[Sheets A1 of 5 and A2 of 5, CofW Sign Specification](#)]

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [\[Detail SD-13 CofW Tech Stds\]](#)
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [\[Detail SD 15-13 CofW Tech Stds\]](#)
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- D. All parking stall markings and lane arrows within the parking areas shall be white.
- E. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- F. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.