



DATE: 11.25.2019
TO: ProTrak
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Transportation Planning

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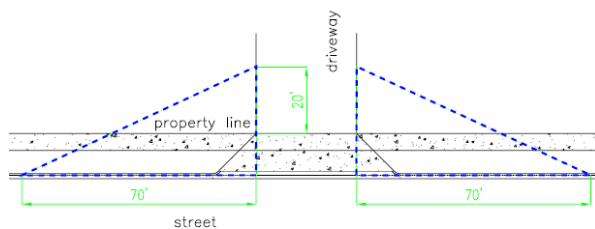
■ **NATIONAL GYPSUM RAIL SPUR [TRC Plan Review #2]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research. The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Please show sidewalk for Sunnyvale Drive.
2. Show the sidewalk connection between the site and the public sidewalk.
3. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
4. Provide sidewalk detail SD 3-10 on the plan.
5. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

6. Please update the site data table with the number of standard parking spaces and number of Trailer Parking spaces.
7. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. If a variance has already been recorded for this property, please provide an email response stating when the variance was granted. [Chapter VII , C (4), pg 7-15 to 7-16 CofWTSSM]

GENERAL NOTES TO ADD TO THE PLAN:

- A. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.