



**Planning, Development
and Transportation**
Transportation Planning
305 Chestnut Street
PO Box 1810
Wilmington, NC 28402-1810

910 341-3258
910 341-7801 fax
www.wilmingtonnc.gov
Dial 711 TTY/Voice

DATE: 11.20.2018
TO: ProTrak
FROM: Mitesh Baxi
Traffic Engineering

RIVERLIGHTS AQ PH 4 & 5 [TRC Plan Review #3]

TECHNICAL STANDARDS – NEW ROADS:

Pavement markings;

- a. Crosswalk at the intersection of Laughing Gull Terrace and Craddock Dr is not in accordance with City Standards. Revise to show both the parallel pavement markings lines.
- b. Site plan shows a mid-block crosswalk on Laughing Gull Terrace west of Walkfinders Court. A pedestrian (W11-2) signage and diagonal downward arrow (W16-7P) are required at the location for both side vehicular traffic.
- c. An advanced pedestrian (W11-2) signage is not required for the mid-block crosswalk on Laughing Gull Terrace (west of Walkfinders Court) and shall not be installed.

ROUNDBOUT DESIGN:

Design shows roundabout at the intersection of Laughing Gull Terrace and Tackabury Run. Please provide the roundabout details. As the City does not currently address roundabout designs in the technical standards, the design should be prepared by an engineer experienced with such and should consider geometric controls such as:

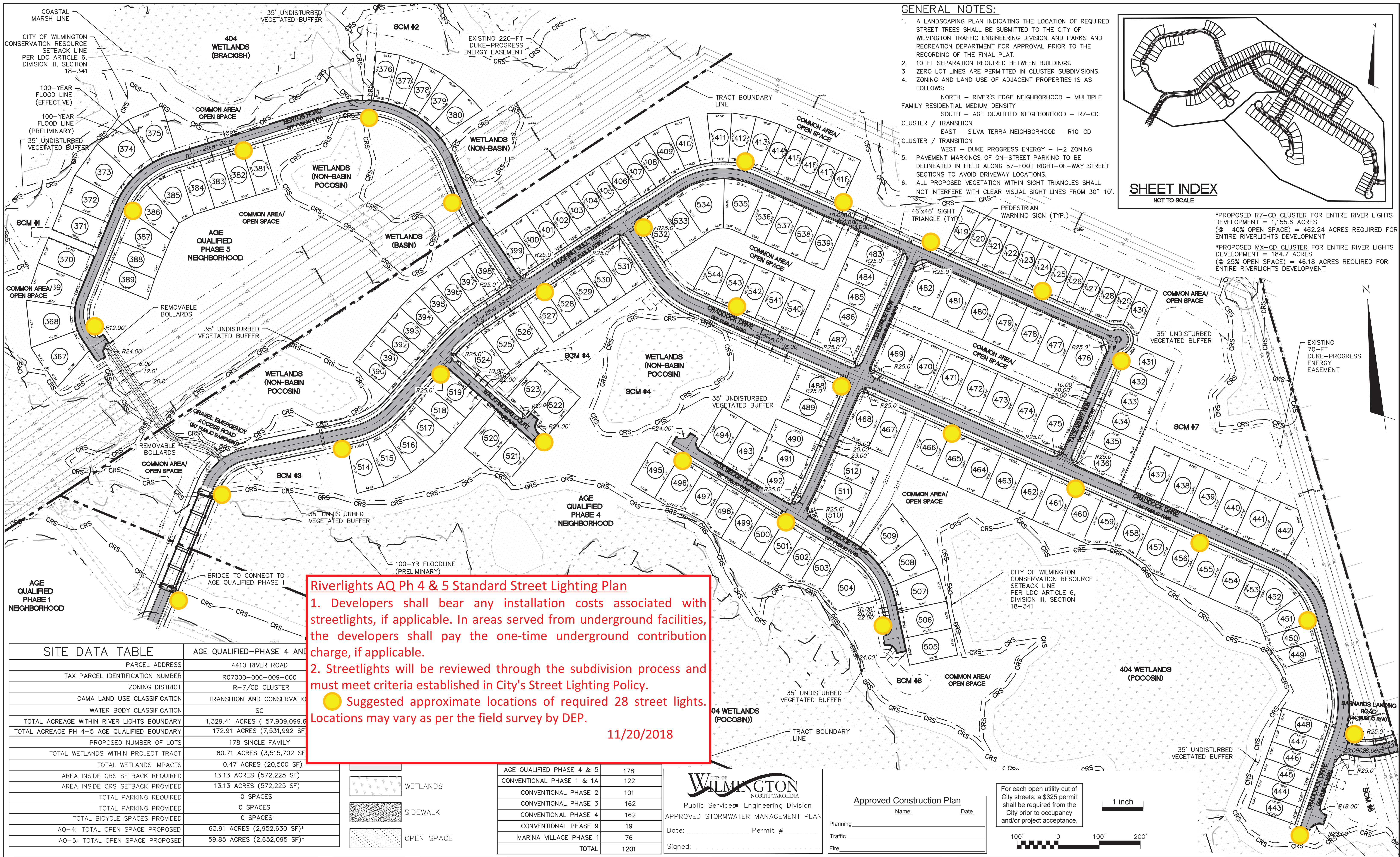
- Entry angle and offset to center as appropriate
- Entry, Circulating and exit speed-radius relationships
- Inscribed diameter consistent with design vehicle
- Truck apron consistent with design vehicle.
- Consideration for Splitter Island that accommodate pedestrian refuge as room allows.
- Approach and departure sight distances.
- Appropriate signing and markings

This list is not inclusive and submittals should provide reasoning used for each parameter. Refer FHWA, City standard, or NCDOT manuals for roundabout design standards and pavement markings.

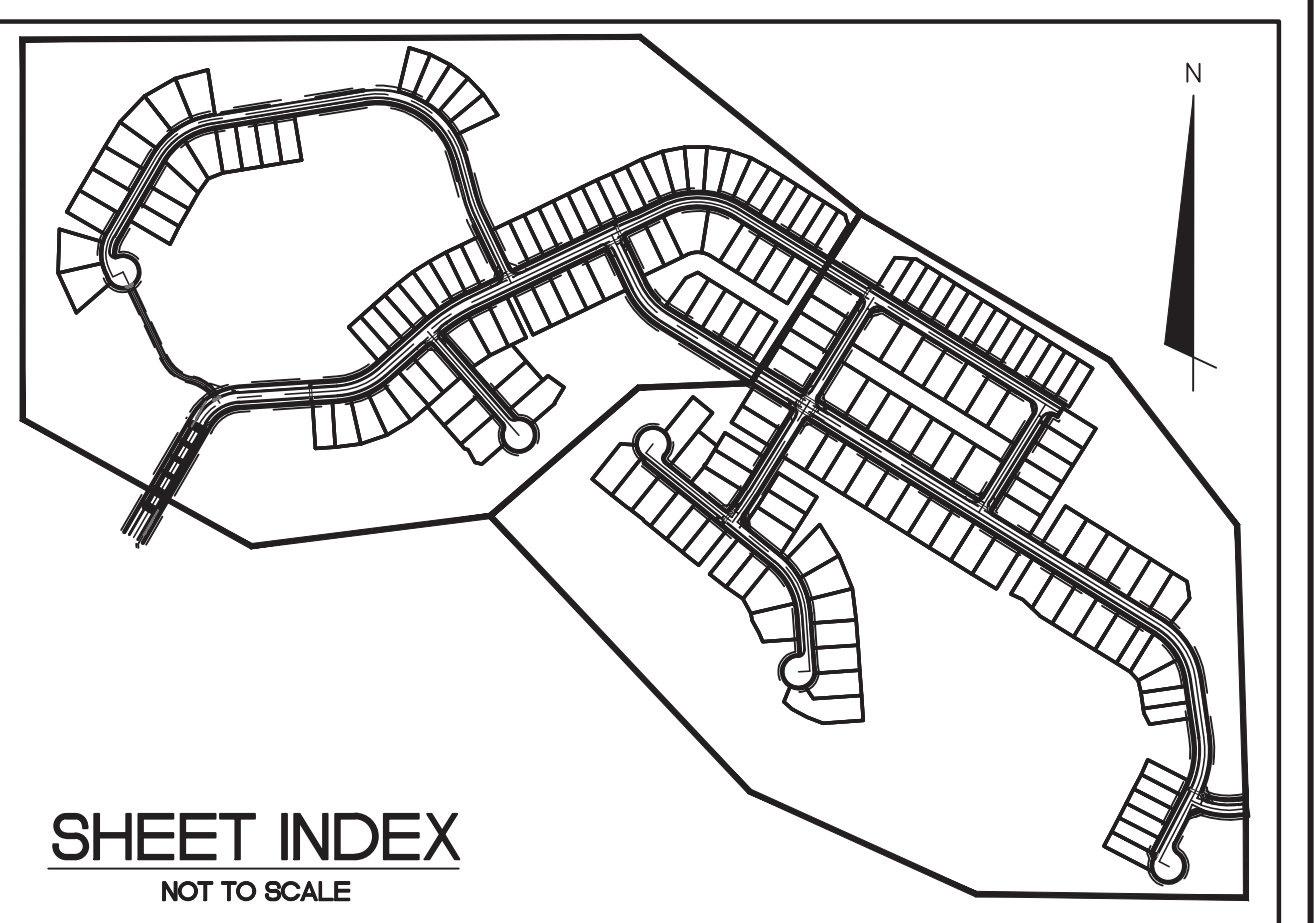
STREET LIGHTING [City of Wilmington Street Lighting Policy]:

1. A revised standard Street light plan has been provide with this review. Minimum of 28 street lights are required for this sub-division. Other comments as per initial review are still applicable.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.



- GENERAL NOTES:**
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
 - 10 FT SEPARATION REQUIRED BETWEEN BUILDINGS.
 - ZERO LOT LINES ARE PERMITTED IN CLUSTER SUBDIVISIONS.
 - ZONING AND LAND USE OF ADJACENT PROPERTIES IS AS FOLLOWS:
 NORTH - RIVER'S EDGE NEIGHBORHOOD - MULTIPLE FAMILY RESIDENTIAL MEDIUM DENSITY
 SOUTH - AGE QUALIFIED NEIGHBORHOOD - R7-CD CLUSTER / TRANSITION
 EAST - SILVA TERRA NEIGHBORHOOD - R10-CD CLUSTER / TRANSITION
 WEST - DUKE PROGRESS ENERGY - I-2 ZONING
 - PAVEMENT MARKINGS OF ON-STREET PARKING TO BE DELINEATED IN FIELD ALONG 57-FOOT RIGHT-OF-WAY STREET SECTIONS TO AVOID DRIVEWAY LOCATIONS.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'.



*PROPOSED R7-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 1,155.6 ACRES
 (@ 40% OPEN SPACE) = 462.24 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT

*PROPOSED MX-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 184.7 ACRES
 (@ 25% OPEN SPACE) = 46.18 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT

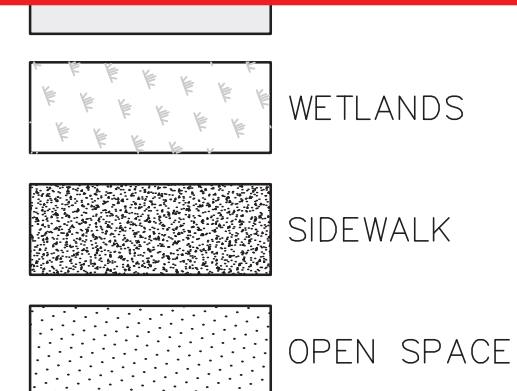
Riverlights AQ Ph 4 & 5 Standard Street Lighting Plan

- Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
- Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.

● Suggested approximate locations of required 28 street lights. Locations may vary as per the field survey by DEP.

11/20/2018

SITE DATA TABLE	
AGE QUALIFIED-PHASE 4 AND 5	
PARCEL ADDRESS	4410 RIVER ROAD
TAX PARCEL IDENTIFICATION NUMBER	R07000-006-009-000
ZONING DISTRICT	R-7/CD CLUSTER
CAMA LAND USE CLASSIFICATION	TRANSITION AND CONSERVATION
WATER BODY CLASSIFICATION	SC
TOTAL ACREAGE WITHIN RIVER LIGHTS BOUNDARY	1,329.41 ACRES (57,909,099.6 SF)
TOTAL ACREAGE PH 4-5 AGE QUALIFIED BOUNDARY	172.91 ACRES (7,531,992 SF)
PROPOSED NUMBER OF LOTS	178 SINGLE FAMILY
TOTAL WETLANDS WITHIN PROJECT TRACT	80.71 ACRES (3,515,702 SF)
TOTAL WETLANDS IMPACTS	0.47 ACRES (20,500 SF)
AREA INSIDE CRS SETBACK REQUIRED	13.13 ACRES (572,225 SF)
AREA INSIDE CRS SETBACK PROVIDED	13.13 ACRES (572,225 SF)
TOTAL PARKING REQUIRED	0 SPACES
TOTAL PARKING PROVIDED	0 SPACES
TOTAL BICYCLE SPACES PROVIDED	0 SPACES
AQ-4: TOTAL OPEN SPACE PROPOSED	63.91 ACRES (2,952,630 SF)*
AQ-5: TOTAL OPEN SPACE PROPOSED	59.85 ACRES (2,652,095 SF)*



AGE QUALIFIED PHASE 4 & 5	178
CONVENTIONAL PHASE 1 & 1A	122
CONVENTIONAL PHASE 2	101
CONVENTIONAL PHASE 3	162
CONVENTIONAL PHASE 4	162
CONVENTIONAL PHASE 9	19
MARINA VILLAGE PHASE 1	76
TOTAL	1201

CITY OF WILMINGTON
NORTH CAROLINA

Public Services Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Name: _____ Date: _____

Permit #: _____

Signed: _____

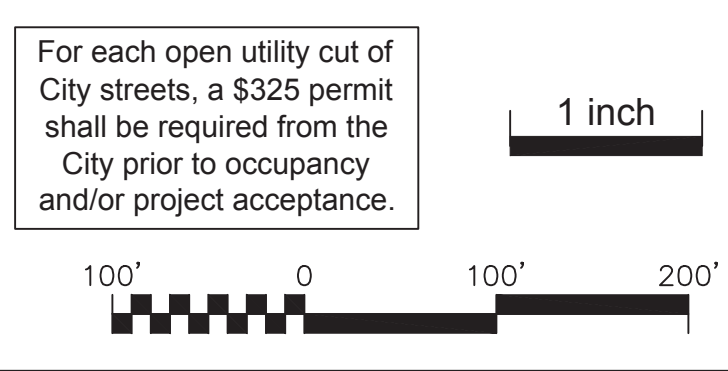
Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____



REV.	DESCRIPTION	DATE
1	CITY OF WILMINGTON TECHNICAL REVIEW COMMITTEE RESUBMITTAL, STORMWATER RESUBMITTAL AND NEW HANOVER COUNTY PHASE 2 SUBMITTAL	11/12/2018
2	CITY OF WILMINGTON TECHNICAL REVIEW COMMITTEE RESUBMITTAL	10/12/2018
3	CITY OF WILMINGTON TECHNICAL REVIEW COMMITTEE RESUBMITTAL	08/21/2018
4	CITY OF WILMINGTON TECHNICAL REVIEW COMMITTEE RESUBMITTAL	07/19/2018
5	CITY OF WILMINGTON STORMWATER SUBMITTAL	07/09/2018
6	CITY OF WILMINGTON STORMWATER SUBMITTAL	07/06/2018
7	CITY OF WILMINGTON STORMWATER SUBMITTAL	07/06/2018
8	CITY OF WILMINGTON STORMWATER SUBMITTAL	07/06/2018
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100	CITY OF WILMINGTON STORMWATER SUBMITTAL	07/06/2018

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

MCKIM & CREED

243 North Front Street
Wilmington, North Carolina 28401
Phone: (910)343-1048, Fax: (910)251-8282
License: F-1222
www.mckimcreed.com

NASH RIVERLIGHTS

NORTH AMERICA SEXKUS HOUSE, LLC

RIVERLIGHTS AGE QUALIFIED PHASE 4 & 5

MASONBORO TOWNSHIP, WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA

OVERALL SITE PLAN

DATE: 01/25/2018
MCE PROJ. # 02735-0177
DRAWN EEM/ALM/MDH
DESIGNED EEM/KCBE
CHECKED KCBE
PROJ. MGR. KCBE

SCALE: HORIZONTAL: 1" = 100'
VERTICAL: N/A

MAC FILE NUMBER: CS-100
DRAWING NUMBER: 8

STATUS: PRELIMINARY DESIGN
NOT FOR CONSTRUCTION