



**Planning, Development
and Transportation**
 Transportation Planning
 305 Chestnut Street
 PO Box 1810
 Wilmington, NC 28402-1810

910 341-3258
 910 341-7801 fax
www.wilmingtonnc.gov
 Dial 711 TTY/Voice

DATE: 11.15.2017
TO: ProTrak
FROM: Mitesh Baxi
 Traffic Engineering

■ **RIVERLIGHTS AQ PH 4 & 5 [TRC Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

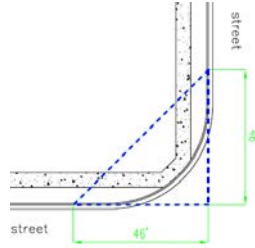
- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

TECHNICAL STANDARDS – NEW ROADS:

1. Wheelchair ramp is installed at the end of the sidewalk at Craddock Dr cul-de-sac. Install wheelchair ramp at the end of the sidewalk at all other cul-de-sacs for this phase. [\[Chapter II E \(6\) page 2-10, CofWTSSM\]](#)
2. The minimum radius of roadway edge at corners is 35'. Please amend. [\[7-5 CofW Tech Stds\]](#)

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

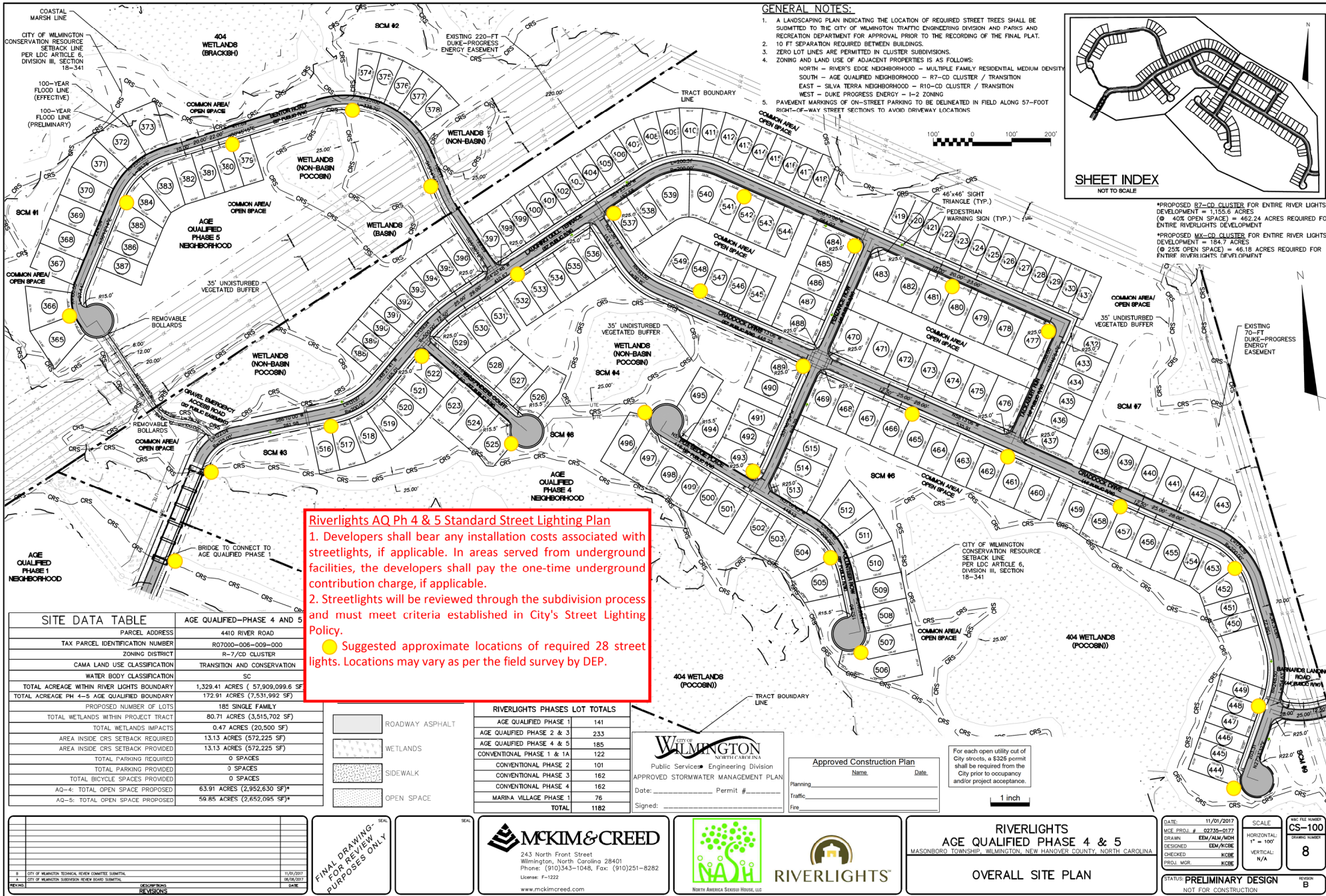
3. Show and apply the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-556 CofW LDC\]](#)



STREET LIGHTING [City of Wilmington Street Lighting Policy]:

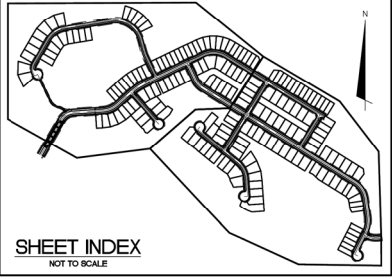
4. The standard streetlight shall be a DEP enclosed cutoff (Cobra type), high pressure sodium vapor (HPSV) or DEP designated LED equivalent fixture installed within the recommended range of mounting heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.
5. A layout for the Standard street lighting has been provided with the review. Minimum of 28 street lights are required for this sub-division. Although, developers may choose to provide any extra lights or ornamental. Any installations above the criteria of Standard street lighting, will be considered as non-standard and has to conform to the City's non-standard street lighting procedure as per the policy.
6. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
7. The Planning, Development and Transportation Director or designee and the City Landscape Designer will coordinate plaza plantings and streetlight locations to minimize the obstruction of light by vegetation.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.



GENERAL NOTES:

1. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
2. 10 FT SEPARATION REQUIRED BETWEEN BUILDINGS.
3. ZERO LOT LINES ARE PERMITTED IN CLUSTER SUBDIVISIONS.
4. ZONING AND LAND USE OF ADJACENT PROPERTIES IS AS FOLLOWS:
 NORTH - RIVER'S EDGE NEIGHBORHOOD - MULTIPLE FAMILY RESIDENTIAL MEDIUM DENSITY
 SOUTH - AGE QUALIFIED NEIGHBORHOOD - R7-CD CLUSTER / TRANSITION
 EAST - SILVA TERRA NEIGHBORHOOD - R10-CD CLUSTER / TRANSITION
 WEST - DUKE PROGRESS ENERGY - I-2 ZONING
5. PAVEMENT MARKINGS OF ON-STREET PARKING TO BE DELINEATED IN FIELD ALONG 57-FOOT RIGHT-OF-WAY STREET SECTIONS TO AVOID DRIVEWAY LOCATIONS



*PROPOSED R7-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 1,155.8 ACRES
 (@ 40% OPEN SPACE) = 462.24 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT
 *PROPOSED R10-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 124.7 ACRES
 (@ 25% OPEN SPACE) = 46.18 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT

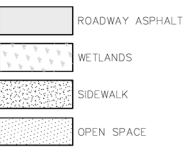
Riverlights AQ Ph 4 & 5 Standard Street Lighting Plan

1. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
2. Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.

● Suggested approximate locations of required 28 street lights. Locations may vary as per the field survey by DEP.

SITE DATA TABLE	
PARCEL ADDRESS	4410 RIVER ROAD
TAX PARCEL IDENTIFICATION NUMBER	R07000-006-009-000
ZONING DISTRICT	R-7/CD CLUSTER
CAMA LAND USE CLASSIFICATION	TRANSITION AND CONSERVATION
WATER BODY CLASSIFICATION	SC
TOTAL ACREAGE WITHIN RIVER LIGHTS BOUNDARY	1,329.41 ACRES (57,909,099.6 SF)
TOTAL ACREAGE PH 4-5 AGE QUALIFIED BOUNDARY	172.91 ACRES (7,531,992 SF)
PROPOSED NUMBER OF LOTS	185 SINGLE FAMILY
TOTAL WETLANDS WITHIN PROJECT TRACT	80.71 ACRES (3,515,702 SF)
TOTAL WETLANDS IMPACTS	0.47 ACRES (20,500 SF)
AREA INSIDE CRS SETBACK REQUIRED	13.13 ACRES (572,225 SF)
AREA INSIDE CRS SETBACK PROVIDED	13.13 ACRES (572,225 SF)
TOTAL PARKING REQUIRED	0 SPACES
TOTAL PARKING PROVIDED	0 SPACES
TOTAL BICYCLE SPACES PROVIDED	0 SPACES
AQ-4: TOTAL OPEN SPACE PROPOSED	63.91 ACRES (2,952,630 SF)*
AQ-5: TOTAL OPEN SPACE PROPOSED	56.85 ACRES (2,652,095 SF)*

RIVERLIGHTS PHASES LOT TOTALS	
AGE QUALIFIED PHASE 1	141
AGE QUALIFIED PHASE 2 & 3	233
AGE QUALIFIED PHASE 4 & 5	185
CONVENTIONAL PHASE 1 & 1A	122
CONVENTIONAL PHASE 2	101
CONVENTIONAL PHASE 3	162
CONVENTIONAL PHASE 4	162
MARINA VILLAGE PHASE 1	76
TOTAL	1182



CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Name: _____ Date: _____

Planning: _____
 Traffic: _____
 Fire: _____

For each open utility out of City streets, a \$326 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

NO.	REVISIONS	DATE

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

MCKIM & CREED
 243 North Front Street
 Wilmington, North Carolina 28401
 Phone: (910)343-1048, Fax: (910)251-8282
 License: F-1222
 www.mckimcreed.com

NASH
 NORTH AMERICA DESIGN HOUSE, LLC

RIVERLIGHTS

RIVERLIGHTS
AGE QUALIFIED PHASE 4 & 5
 MASONBORO TOWNSHIP, WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA

OVERALL SITE PLAN

DATE: 11/01/2017
 MISE PROJ.: 02226-0172
 DRAWN: EDM/ALM/NDH
 DESIGNED: EDM/KCBE
 CHECKED: KCBE
 PROJ. MGR: KCBE

SCALE: CS-100
 HORIZONTAL: 1" = 100'
 VERTICAL: N/A

8

STATUS: PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION