

DATE: 11.15.2018

TO: ProTrak

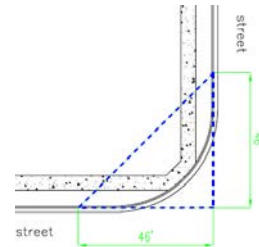
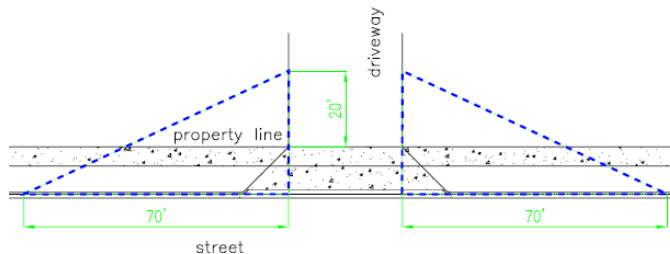
FROM: Bill McDow
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■ **ALOFT HOTEL [TRC Plan Review #4] LANDSCAPE**

TECHNICAL STANDARDS – ACCESS (Parking, Sidewalk, and Barrier Free Design):

1. The proposed 35'x75' Sight Distance Triangles do not meet City of Wilmington Technical Standards for sight distance. Please revise according to the technical standards.
2. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



3. Please clarify the use of the structure within the existing driveway at the intersection of Red Cross Street and Nutt Street. If the structure is a dumpster, please label it on the site plans.
4. The proposed site driveway at the intersection of Red Cross Street and Nutt Street does not have a vehicle turn around. All vehicle movements in the driveway must be in the forward direction for ingress and egress movements.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.