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**DATE:** 11.06.2013  
**TO:** ProTrak  
**FROM:** Bill McDow  
 Transportation Planning

■ **THE SHOPS AT COLLEGE RD [Initial plan review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



**BASE INFORMATION:**

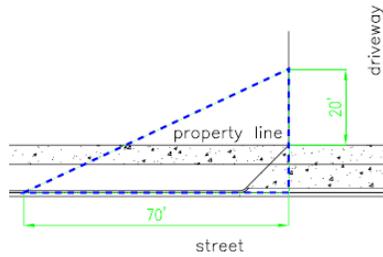
- If pavement markings on site have weathered to the point they are not in accordance with the MUTCD standard of maintenance, do not show the markings as existing, rather show them as proposed on the site plan.

**TRAFFIC IMPACT:**

- ❖ A waiver for a Traffic Impact Analysis (TIA) has been granted for this development. Contact Transportation Planning prior to resubmitting plans if the intended use of the site is different than what is outlined above.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

1. The crosswalk at the NE corner of the site is within the parking lot, so it not required to be marked. If you decide to mark the crosswalk refer to Standard Detail SD 11-11. [[Detail SD 11-11 CofW Tech Stds](#)]
2. Show and apply the City’s 20’x70’ sight distance triangle at each driveway on the site plan and landscaping plan. [[Sec.18-529\(c\)\(3\)CofW LDC](#)] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [[Sec.18-566 CofW LDC](#)]



#### TECHNICAL STANDARDS – PARKING:

3. The 10' radius points within the site are too tight. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [Chapter VII, Detail SD 15-13 CofWTSSM]
4. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot.
5. The angled parking spaces at the end of each parking section do not provide the minimum 20' stall length from the driver side corner of the stall to the rear of the stall. These stalls include the stall adjacent to the A3 grill basin and the handicap space in front of Suite 120.
6. As the developer has chosen to provide automobile spaces, bicycle parking shall be provided in accordance with Sec. 18-528. Please add the required number and the proposed number to the site data table and graphically indicate on the plans the location of bike parking. [Sec.18-528 CofW LDC]

#### TECHNICAL STANDARDS – Barrier Free Design:

7. The accessible route for pedestrians attempting to access the site from the 4' sidewalk is unmarked. These pedestrians must cross both the drive thru lane and drive aisle. Please consider installing pavement markings for the pedestrian crossing from the wheel chair ramp to the building.

#### REVISIONS TO NOTES ON THE PLAN:

8. Please revise notes # 66 on sheet C-00 to reflect the following verbiage:  
#66: Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.

#### GENERAL NOTES TO ADD TO THE PLAN:

- A. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- B. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

#### MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.