



**Planning, Development
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DATE: 10.31.2017
TO: ProTrak
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 Traffic Engineering

■ **TIDEWATER BREWING CO [Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- The site is within 500' of a Traffic Signals. Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings for N 10th St and Market St intersection on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

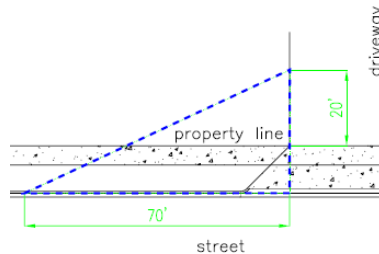
TECHNICAL STANDARDS – DRIVEWAY ACCESS (Non-Major Thoroughfares):

1. Site plan shows two existing driveways to remain. In no case may the total width of all driveways for any individual property exceed fifty (50) percent of the total property frontage along the same street, measured along the property line. [[Chapter VII, C, Table 5 Note #1. CofWTSSM](#)]. This property does not fulfill this requirement along the Princess Street.
2. Minimum distance between two driveways is 20' as measured between driveway aprons/curb returns at curb line or edge of roadway. The north boundary driveways does not comply with this condition. Please revise plans accordingly. [[7-11 CofW Tech Stds](#)]
3. The driveway curb return must be at least 26' from intersecting property lines at the street corner as measured in accordance with CofW [[Chapter VII, C, Table 5 Note #6. CofWTSSM](#)].
4. The driveway curb return must be at least 6.5' from intersecting property lines. The north-east corner driveway and the southern driveway does not meet this standard. [[Chapter VII, C, Table 4 CofWTSSM](#)]

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

5. All ingress and egress vehicular movements through the driveways is to be by forward motion of vehicles. [[Sec.18-527 CofW LDC](#)]

6. Please provide the turning movement analysis for the food truck.
7. Driveways shall be City-standard ramp-type driveways.
8. Dimension all driveway widths and tapers. [\[Sec.18-529 CofW LDC\]](#)
9. The maximum driveway width at property line is 36 feet. City Engineer's approval is required for the driveway width above that. [\[Chapter VII, C, Table 3 Note#3\]](#)
10. A pavement marking plan is required for all driveways greater than 30' in width. [\[page 7-9 CofWTSSM\]](#)
11. Dimension the existing sidewalk outside the northern boundary and provide sidewalk detail SD 3-10 on the plan.
12. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
13. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. Apply this to a northern driveway of the property. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-556 CofW LDC\]](#)



GENERAL NOTES TO ADD TO THE PLAN:

- A. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

MISCELLANEOUS:

- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.