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**DATE:** 10.18.2013  
**TO:** ProTrak  
**FROM:** Bill McDow  
 Transportation Planning

■ **VILLAGE AT COLLEGE AND OLEANDER US CELLULAR [Initial plan review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



**TRAFFIC IMPACT:**

- ❖ Per the Institute of Transportation Engineers (ITE) Trip Generation 9<sup>th</sup> Edition, 2012, Microtrans Trip Generation Software; the estimated Trip Generation for the proposed Office/Retail (ITE land use code 715) is 30 total driveway volume in AM peak hours, 41 total driveway volume in the PM peak hours and 150 total average weekday 2-way driveway volume.
- ❖ A Traffic Impact Analysis (TIA) will not be required for this development if the above information is consistent with the proposed use. Contact Transportation Planning prior to resubmitting plans if the intended use of the site is different than what is outlined above.

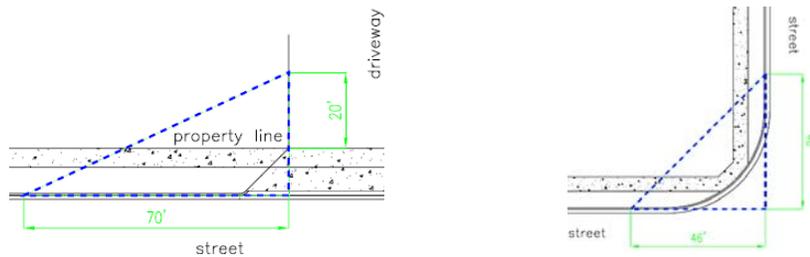
**NCDOT:**

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

1. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
2. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.

3. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC]



**TECHNICAL STANDARDS – PARKING:**

4. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [Chapter VII, Detail SD 15-13 CofWTSSM]
5. Dimension parking stalls, radii and parking aisles. [Sec. 18-529(b)(2) CofW LDC]
6. The backing stubs are to be 10' deep by 15' wide. Please revise and dimension on the plan. [Chapter VII ,Detail SD 15-12 CofWTSSM]
7. Provide a turning movement analysis of a trash truck vehicle at the dumpster location.
8. The crape myrtles installed on the edge of the first driveway of the parking lot appear to interfere with clear sight lines for vehicles preparing to egress/ingress the site.

**TECHNICAL STANDARDS – Barrier Free Design:**

9. Add Tactile Mats at each handicap ramp location.
10. Revise plans to show the detail handicap sign as mounted on the building.
11. The 5' sidewalk as proposed where adjacent to 90 degree parking spaces does not meet ADA requirements. An allowance for a 2.5' vehicle overhang must be considered. 4' of the sidewalk must remain clear for pedestrian use. The applicant may consider installing wheel stops for these spaces. [Chapter VII, Detail SD 15-13 CofWTSSM]
12. Note the required and proposed number of handicapped spaces in the development data. [Sec. 18-529(b)(2) CofW LDC]

**REVISIONS TO NOTES ON THE PLAN:**

13. Please revise notes #5, #11 and #15 on sheet 2 of 2 to reflect the following verbiage:
  - #5 It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
  - #11: All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
  - #15 Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.

**GENERAL NOTES TO ADD TO THE PLAN:**

- A. Contact Traffic Engineering at 910-341-7888 forty eight hours prior to any excavation in the right of way to ensure that all traffic signal facilities and equipment are properly located.

- B. Immediately notify City of Wilmington Traffic Engineering at 910-341-7888 if any traffic signal facilities or City-Owned streetlight facilities are damaged.
- C. Damaged facilities shall be replaced, by an approved contractor, according to standard NCDOT replacement schedules and current NCDOT design standards.
- D. All repair/replacement of traffic signal infrastructure shall be coordinated with the City of Wilmington Traffic Engineering Division.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.