



**Planning, Development
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DATE: 10.16.2015
TO: ProTrak
FROM: Bill McDow
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■ CAMBRIDGE VILLAGE OF WILMINGTON PHASE 1 [TRC Plan Review]

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Revise all sheets to accurately illustrate the property lines on the existing conditions and site plans for this project. It is necessary to measure certain items at the ROW line, including driveway dimensions, sign locations, sight distance, etc.
- Calypso Drive is designated as a Public 60' R/W. Ensure all travel lanes are clear of obstructions, including the storage container shown on Sheet C3.01.

TRAFFIC IMPACT:

- ❖ A Traffic Impact Analysis (TIA) is in progress for this development. The project will be required to meet the requirements for the TIA.
- ❖ Transportation Infrastructure required by the TIA shall be installed when the phase of their installation occurs.

NCDOT:

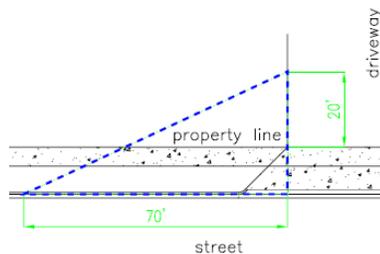
It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – DRIVEWAY ACCESS (Non-Major Thoroughfares):

1. The proposed one way driveways along Calypso Drive do not meet minimum requirements for a one way driveway. Reduce the width of the one way drive to 13' for one way traffic. [\[7-9 CofW Tech Stds\]](#)
2. Label the dimensions for the pair of one way driveways on Calypso Drive, including street corner radius, and drive aisle width at the ROW.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

3. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [\[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM\]](#)
4. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
5. Dimension driveway widths and tapers. [\[Sec.18-529 CofW LDC\]](#)
6. Distinguish between proposed and existing sidewalk(s) and provide dimensions
7. The proposed sidewalk shown in section 1, (sheet C9.01) does not appear to match the sidewalk detail SD 3-10 on the plan. Ensure the sidewalk construction of the public sidewalk, including width, expansion joints, etc. match the Standard Detail. [\[Detail SD 3-10 CofWTSSM\]](#)
8. The proposed business sign appears to be within the sight distance triangle.
9. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



TECHNICAL STANDARDS – PARKING:

10. Please increase the length of the 0 degree parking (parallel parking) to 23' in length.
11. The site has relocated the entrance on Calypso Drive, which may change the Fire and Emergency response for the new buildings. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. As this travel way will be used for emergency service vehicles or truck traffic, a tighter radius is inappropriate. [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
12. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [\[Chapter VII , C \(4\), pg. 7-15 to 7-16 CofWTSSM\]](#)
13. Provide a turning movement analysis of a trash truck at the compactor and dumpster and fire engine at the rear of the new buildings.
14. Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data. [\[Sec.18-528 CofW LDC\]](#)

TECHNICAL STANDARDS – Barrier Free Design:

15. Please show location of handicap ramp(s) and signs and provide details on the plan.
16. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
17. Note the required and proposed number of handicapped spaces in the development data. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

REVISIONS TO NOTES ON THE PLAN:

18. Please revise notes #5 and 6 on sheet c0.01 to reflect the following verbiage:
 - #5: Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 - #6: Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

GENERAL NOTES TO ADD TO THE PLAN:

- A. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- B. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- C. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact Alina Jakubcanin at 341-7888, Alina.Jakubcanin@wilmingtonnc.gov, to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.