



DATE: 10.08.2018
TO: ProTrak
FROM: Mitesh Baxi
Traffic Engineering

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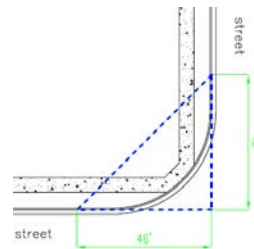
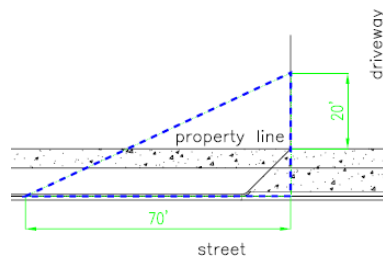
■ **CALIBRATION STATION OFFICES [TRC Plan Review #3]**

BASE INFORMATION:

- The site is within 250' of a street intersections. Revise all relevant sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings for the intersections of Burnett Blv, Virginia Ave, Southern Blv and Harrison St on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- Site Inventory plan is not showing all the existing signage for these intersections. Please revise.
- Show driveways for adjacent lots and lots across the street.

TECHNICAL STANDARDS – ACCESS (Ramps, sidewalk, and sight distance):

1. Site plan shows the handicap ramp at the end of proposed public sidewalk at intersection of Southern Blv and Virginia Ave. Demonstrate the route/s, these ramps will be leading to.
2. The City's 20'x70' sight distance triangle is not implemented correctly. Revise as per below image. Show the City's 46'x46' sight distance triangle at each street corner intersection abutting this property. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-556 CofW LDC\]](#)



MISCELLANEOUS:

- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.