



DATE: 9.30.2014
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■ **VOPAK TERMINAL [Plan Review# 2]**

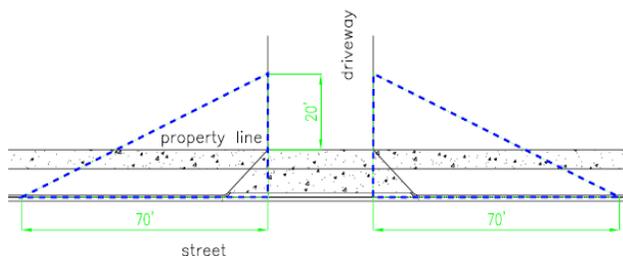
🌀 Initial Review Note 🌀

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

1. The 23' wide drive aisle to the south and west of the proposed internal services building does not have a turnaround location. Ensure service vehicles can access this side of the building and return safely. In some cases a backing stub must be installed on the site to ensure safe movements can be performed.
2. Please note that the City's 20'x70' sight distance triangle should be applied on each approach for the driveways on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – Barrier Free Design:

3. As previously stated show the location of handicap ramp and signs and provide details on the plan.

4. The proposed 4' gravel and grass path around the building is a pedestrian area. Pave the area and increase its width to 5' for handicap accessible. Also, note/label the plan with spot elevations that clearly indicate the accessible route from the HC space to the building. [Sec. 18-529(b)(2) CofW LDC]

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.