



Planning, Development and Transportation

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DATE: 09.25.2019
TO: ProTrak
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Traffic Engineering

■ **MCDONALD'S GORDON ROAD [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Revise relevant sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings for the full intersection of Market St and Gordon Rd ROW on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
<https://www.wilmingtonnc.gov/home/showdocument?id=1910>

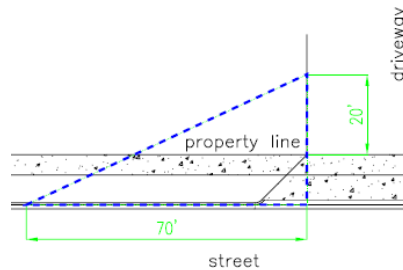
NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910-398-9100. Please note additional comments may be forthcoming once coordination occurs.
<https://www.wilmingtonnc.gov/home/showdocument?id=3940>

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Please show the pavement markings for the directional arrows for driveways off Market St and Gordon Rd.
2. Stop sign and stop bar shall be in advance of the potential crosswalk across the street style driveway off Market St.
3. Provide sidewalk detail SD 3-10 on the plan. [Sec. 18-529(b)(2) CofW LDC]
4. Provide curbing detail SD 3-11 on the plan. [Sec. 18-529(b)(2) CofW LDC]
5. Show and apply the City's 20'x70' sight distance triangle at each internal driveways accessing this business. [Sec.18-529(c) (3) CofW LDC] [Sec. 18-812 CofW LDC]. Add a note indicating that all proposed

vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC]



TECHNICAL STANDARDS – PARKING:

6. 'Do not enter' signs shall be installed at the one-way aisles egress to restrict the traffic entering these aisles. [MUTCD]
7. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. [Chapter VII, Detail SD 15-13 CofWTSSM]. Please contact Engineering division for this request.

TECHNICAL STANDARDS – ADA:

8. Install wheelchair ramp at corner of street-style driveway off Market St and at the corner of Market St and Gordon Rd, per NCDOT and/or City standards. Connect sidewalk with ramp.
9. Replace the handicap signage details from sheet C-4 and show the typical handicap sign detail on the plan as per ADA and City standards. [Sheets A1 of 5 and A2 of 5, CofW Sign Specification] <https://www.wilmingtonnc.gov/home/showdocument?id=3940>
10. Relocate parking signs out of handicap parking space. Parking signs shall not be used as wheel stops.

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [Detail SD 11-03 and SD 15-13 CofW Tech Stds]
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [Detail SD 15-13 CofW Tech Stds]
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- D. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.

MISCELLANEOUS:

- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.