



Planning, Development and Transportation

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DATE: 09.25.2017
TO: ProTrak
FROM: Mitesh Baxi Traffic Engineering

■ **RENAISSANCE MARKET [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2.for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- If pavement markings of the existing driveway access for the site have weathered to the point they are not in accordance with the MUTCD standard of maintenance, it is developer’s responsibility to maintain that.

NCDOT:

It is the Applicant’s responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – NEW ROADS:

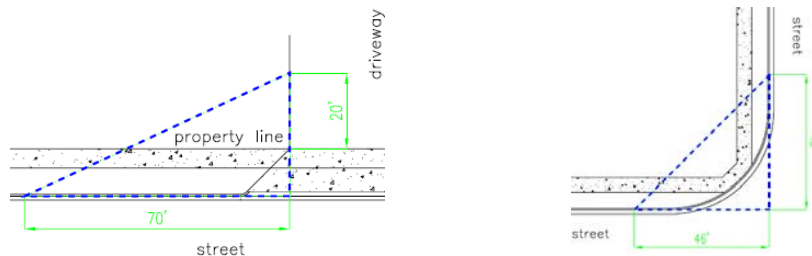
1. Show a cross-section detail showing the existing Sir Tyler Dr and the proposed widening.
2. The proposed diagonal wheelchair ramp at the corner of Sir Tyler Dr and existing driveway to the south of the property is not designed as per NCDOT and/or City standards. Please revise the design as per [CofW SD 3-09](#).
3. The minimum street corner radii is 35’. [\[7-5 CofW Tech Stds\]](#)

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

4. The plan set appears to be missing the Layout Sheet.

5. Dimension driveway widths and tapers for all driveways accessing this property. [[Sec.18-529 CofW LDC](#)]
6. Show appropriate City standard detail(s) for the driveway on plan. [[Chapter VII ,Detail SD 3-03.3 & 3-03.4 \(curb\) CofWTSSM](#)]
7. Distinguish between existing and proposed sidewalks.
8. Provide additional dimensions for all the existing and proposed sidewalk and trail in the vicinity of the development on site plan.
9. Show the location of stop signs and directional arrows for the vehicular traffic maneuvering around the building/s.
10. Site plan shows the monument signs at the intersection of Military Cut-off Rd and the northern driveway, and at the corner of Sir Tyler Dr. Please verify that the signs do not interfere with Sight Distance.

Show and apply the City's 20'x70' sight distance triangle at each driveways and the City's 46'x46' sight distance triangle at Sir Tyler Drive corner intersection on the site plan and landscaping plan. [[Sec.18-529\(c\)\(3\)CofW LDC](#)] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [[Sec.18-556 CofW LDC](#)]



TECHNICAL STANDARDS – PARKING:

11. Dimension parking stalls, radii and parking aisles. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]
12. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [[Chapter VII, Detail SD 15-13 CofWTSSM](#)]
13. 24' is the minimum drive aisle width behind perpendicular parking.
14. Provide a turning movement analysis of a transport and fire vehicles demonstrating the excess to the buildings as required.
15. Please amend the plans to show all the required traffic signs within the traffic facility.
16. Although, bicycle parking is shown in site data table, the location is missing within the parking facility. Bicycle parking facilities shall be provided within two hundred (200) feet of the primary entrance to the facility. In the event of multiple entrances, bicycle-parking facilities shall be dispersed for easy access to the multiple entrances.

TECHNICAL STANDARDS – Barrier Free Design:

17. Please show location of handicap signs and provide details on the plan.
18. Some of the handicap parking spaces within the middle aisle does not show the accessible path to any building. Accessible routes must connect parking spaces to accessible entrances. Please show the pavement marking for accessible route for these spaces on the site plan.
19. Show the pavement marking for the crosswalk along the ADA accessible path from center parking aisle to proposed building to the north.

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [[Detail SD-13 CofW Tech Stds](#)]

- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [\[Detail SD 15-13 CofW Tech Stds\]](#)
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- D. All parking stall markings and lane arrows within the parking areas shall be white.
- E. Any broken or missing sidewalk panels and curbing will be replaced.
- F. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact Traffic Engineering at 910-341-7888 to discuss street lighting options on the public ROW.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.