



**Planning, Development  
and Transportation**  
Transportation Planning  
305 Chestnut Street  
PO Box 1810  
Wilmington, NC 28402-1810

910 341-3258  
910 341-7801 fax  
www.wilmingtonnc.gov  
Dial 711 TTY/Voice

**DATE:** 09.24.2014  
**TO:** ProTrak  
**FROM:** Bill McDow  
Transportation Planning

■ **INDEPENDENCE WEST APARTMENTS [TRC Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



**TRAFFIC IMPACT:**

- ❖ A Traffic Impact Analysis (TIA) is underway for this development. Please contact Amy Kimes, PE at (910)473-5130, [amy.kimes@wilmingtonnc.gov](mailto:amy.kimes@wilmingtonnc.gov) to discuss the status of the project within the TIA review process.

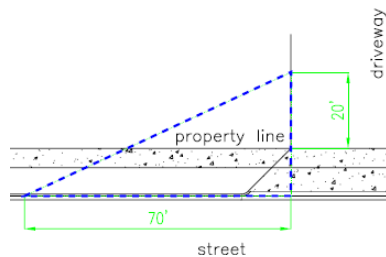
**NCDOT:**

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

1. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [\[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM\]](#)
2. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
3. Dimension driveway widths and tapers. [\[Sec.18-529 CofW LDC\]](#)
4. Building #2 and its parking area appears to be located within a wetland area; is there a plan to mitigate this area?

5. The minimum two-lane driveway width is 23'. [\[7-9 CofW Tech Stds\]](#)
6. Provide the required public sidewalk along the site frontage. If the project is providing other pedestrian facilities, such as multi-use trails, show them on the site plans and landscaping plans.
7. Provide a sidewalk connection between the site and the public sidewalk.
8. Distinguish between proposed and existing sidewalk(s) and provide dimensions
9. Provide sidewalk detail SD 8-15 on the plan.
10. Show all adjacent traffic signs and pavement markings on the plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
11. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
12. All traffic signal facilities and city-owned streetlight equipment located along the site property lines and/or within the limits of construction shall be shown on the plans. Contact City of Wilmington Traffic Engineering at 910-341-7888 for help in locating these facilities.
13. Any traffic signal infrastructure adjustments, including overhead or underground signal system fiber communication lines, are the responsibility of the applicant/developer.
14. The City shall be notified immediately of any traffic signal facilities damaged during construction.
15. Damaged facilities shall be replaced, at contractor/developer expense.
16. All traffic signal plans and traffic signal plan revisions are to be included in the construction plans for release, approved and implemented prior to issuance of any certificate of occupancy.
17. The sight distance triangle on the landscaping plan is improperly applied. Trees in the center driveway are within the SDT.
18. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



#### TECHNICAL STANDARDS – PARKING:

19. Dimension parking stalls, radii and parking aisles. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
20. The minimum standard vehicle parking space size is 8.5' in width by 18' in length.
21. The minimum small vehicle parking space size is 8' in width by 16' in length. Small vehicle parking spaces must not exceed 25% of the required parking and must be signed alerting drivers to the limited size. [\[Detail SD 15-13 CofW Tech Stds\]](#)
22. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing. [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
23. Provide details for the parking garages, including sidewalks near these locations and parking within the garages.
24. Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking.
25. The backing stub is to be 10' deep by 15' wide. Please dimension. [\[Chapter VII, Detail SD 15-12 CofWTSSM\]](#)
26. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [\[Chapter VII, C \(4\), pg 7-15 to 7-16 CofWTSSM\]](#)

**TECHNICAL STANDARDS – Barrier Free Design:**

27. Please show location of handicap ramp(s) and signs on the site and landscaping plan.
28. The required van spaces are not properly labeled. The site data table mentions 4 van accessible spaces. Two spaces are shown with 8' striped aisle; however, the other handicap accessible spaces appear to have 5' striped aisles.
29. The handicap accessible space by the trash compactor cannot be counted as a standard HC parking space. Vehicles will use this space to drop off trash, not to be a regular parking space.
30. Show the accessible route and HC spaces for the parking garages.

**REVISIONS TO NOTES ON THE PLAN:**

31. Please revise notes #4, #6, #13 and 15 on sheet 2, and notes #4 and #6 on sheet 16 to reflect the following verbiage:
  - #4: It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
  - #6: Any broken or missing sidewalk panels, **driveway panels**, and curbing will be replaced.
  - #13: All traffic control signs and markings off the right-of-way are to be maintained by the property owner **in accordance with MUTCD standards**.
  - #15: A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

**GENERAL NOTES TO ADD TO THE PLAN:**

- A. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [\[SD 15-14 CofW Tech Stds\]](#)
- B. Contact Traffic Engineering at 910-341-7888 forty eight hours prior to any excavation in the right of way to ensure that all traffic signal facilities and equipment are properly located.
- C. Immediately notify City of Wilmington Traffic Engineering at 910-341-7888 if any traffic signal facilities or City-Owned streetlight facilities are damaged.
- D. Damaged facilities shall be replaced, by an approved contractor, according to standard NCDOT replacement schedules and current NCDOT design standards.
- E. All repair/replacement of traffic signal infrastructure shall be coordinated with the City of Wilmington Traffic Engineering Division.

**MISCELLANEOUS:**

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.