



**Planning, Development
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■ **GALLERIA ROW PLAN [TRC Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. For Wrightsville Avenue, show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

TRAFFIC IMPACT:

- ❖ The Project is part of the Galleria Mixed-Use Development Project TIA, which was approved on July 15, 2019. The project will be required to meet the improvements for the TIA.
- ❖ Show Roadway Connections to Wrightsville Avenue as required by the TIA.
- ❖ Show ROW to encompass TIA requirements.
- ❖ The TIA showed a requirement for a proposed Access Cross Section and an Internal Protective Stem for each Access Point, (Access #1, Access #2 and Access #3). Please show the Internal Protective Stem and Proposed Access Cross Section for each access point.
- ❖ The proposed Sight Driveways/ Transportation Note on Sheet C-2-3 discusses phases for implementation of TIA Improvements. The TIA for this project does not have phasing.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

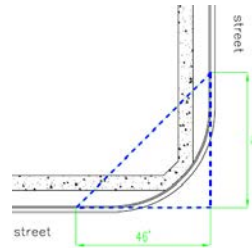
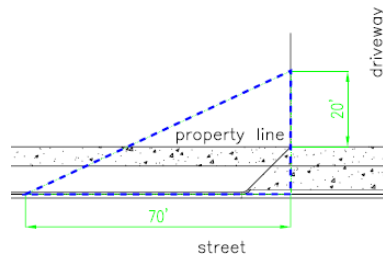
TECHNICAL STANDARDS – NEW ROADS:

1. The proposed Road A and Road B cross-section detail showing the proposed roadway does not meet minimum City Technical Standards for a commercial Street. Street widths in commercial subdivisions or areas shall have a minimum right-of-way width of 60 feet and a minimum pavement width of 33 feet. [\[Page 7-7, General Standards, #17, CofWilm Technical Standards\]](#) A Variance may be requested.
2. Install wheelchair ramp at corner of Road A and Wrightsville Avenue and the corner of Road B and Wrightsville Avenue, per NCDOT and/or City standards. Connect sidewalk with ramp.
3. The proposed street appears to be using 18" curb and gutter instead of the City Standard Type A, 24" curb and gutter. Please revise.

4. Road A and Road B appear to be operating as Collector Streets for the Galleria Project and the traffic from the Airlie at Wrightsville development. The minimum horizontal centerline radius is 200' for collector streets. A Variance may be requested.
5. The minimum street corner radii is 35'. [7-5 CofW Tech Stds] A Variance may be requested.
6. The project has proposed on-street Angled parking. The parking shall meet the minimum standards of Chapter 7, Table 6, Minimum Parking Standards. [Chapter VII, Table 6, pg. 7-19 CofWTSSM] A Variance may be requested.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

7. Show driveways for adjacent lots and lots across the street.
8. Note which existing driveways will be closed. Extend the curb along these driveways and restore the verge area to match the existing/proposed.
9. Please show the proposed driveways for the Parking Garage, Hotel and Retail buildings.
10. Dimension driveway widths and tapers. [Sec.18-529 CofW LDC]
11. The site plans show driveways off Road A and Road B. The minimum two-lane driveway width is 23'. [7-9 CofW Tech Stds] A Variance may be requested.
12. The existing sidewalk on Wrightsville Avenue, between Road A and Road B, does not appear on this plan. Please replace the sidewalk or show the existing sidewalk on the plan.
13. Distinguish between proposed and existing sidewalk(s) and provide dimensions
14. Provide sidewalk detail SD 3-10 on the plan.
15. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

16. Please show the parking in retail areas and hotel area. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [Sec.18-526 CofW LDC]
17. The Hotel appears to be missing a driveway for Drop off and Pick up. Drop off/pick up areas are required for daycare centers, schools and similar uses. [Sec.18-553 CofW LDC]
18. Provide a turning movement analysis of a Fire Engine at the intersection of Pergola Terrace and Road A. The City of Wilmington uses a 48.1' vehicle.

REVISIONS TO NOTES ON THE PLAN:

1. Please revise Traffic Notes # 9 on Sheet C-1.0 to reflect the following verbiage:

#9: Remove the Note # 9 [Public Roadway Improvements Will Be Completed As Appropriate In Connection With The Improvement Project For Wrightsville Avenue.]

2. The Sight Driveways/ Transportation Note(s) on Sheet C-2.3 are not necessary and do not obligate the City of Wilmington to any improvements. We recommend this be removed.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.