



**Planning, Development
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DATE: 09.12.2017
TO: ProTrak
FROM: Bill McDow
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■ SALTWATER PROPERTIES WOODWORKING [TRC Plan Review]

🌀 Initial Review Note 🌀

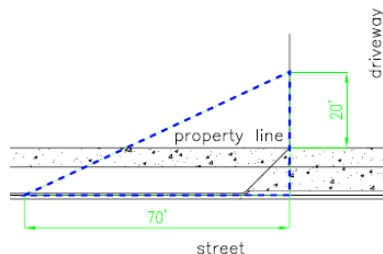
All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research. The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Show dimensions for existing and proposed driveway widths and tapers. [\[Sec.18-529 CofW LDC\]](#)
2. The proposed driveway tapers do not match the standard detail for a commercial driveway. Please extend the tapers to the end of the ROW, where it comes in contact with the sidewalk.
3. The proposed sidewalk location along Bryan Road must meet minimum Clear Zone Distances for sidewalk placement. Bryan Road is a 35 mph roadway with less than 1,500 vehicles per day, therefore, the required minimum clear zone is 10'-12' as measured from the edge of pavement. Please adjust the location of the sidewalk to ensure the minimum clear zone distance is provided.
4. Provide a sidewalk connection between the site and the public sidewalk.
5. Show all adjacent traffic signs and pavement markings on the plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
6. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



TECHNICAL STANDARDS – PARKING:

7. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [[Sec.18-526 CofW LDC](#)]
8. Dimension parking stalls, radii and parking aisles. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]
9. The proposed site shows an existing building with a large concrete pad adjacent to the building. The internal sidewalk and landscape islands appear to be blocking access to this building and concrete pad. Please ensure adequate access to the existing building, driving over the Landscape Island and internal sidewalk are not proper methods to access this area.
10. Parking lot must meet requirements of standard details SD 15-13 and 15-10 for parking lots under 25 stalls. Provide a continuous perimeter border and 6" gravel surface. [[SD 15-11 CofW Tech Stds](#)]
11. The backing stub is to be 10' deep by 15' wide. Please dimension. [[Chapter VII ,Detail SD 15-12 CofWTSSM](#)]
12. The backing stub in the parking appears to be in conflict with 5' proposed sidewalk to the south of the proposed building. Provide a larger backing stub or continuous barriers such as a raised perimeter border or bollards to prevent vehicles driving over the sidewalk.
13. Although not a requirement, it is requested the Applicant consider adding some bicycle parking.

TECHNICAL STANDARDS – Barrier Free Design:

14. Please show location of handicap parking, handicap ramp(s) and signs and provide details on the plan.
15. Note the required and proposed number of handicapped spaces in the development data. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [[Detail SD-13 CofW Tech Stds](#)]
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [[Detail SD 15-13 CofW Tech Stds](#)]
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- D. All parking stall markings and lane arrows within the parking areas shall be white.
- E. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- F. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
- G. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [[SD 15-14 CofW Tech Stds](#)]
- H. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.