



**Planning, Development
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DATE: 9.01.2017
TO: ProTrak
FROM: Mitesh Baxi, Traffic Engineering
Bill McDow, Transportation Planning

■ **OFFICES AT BARCLAY PHASE 1 [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research. The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- Please show existing parts of Barclay West that have been constructed and are under construction.

TRAFFIC IMPACT:

- ❖ A Traffic Impact Analysis (TIA) will be required for this phase of the development. The project cannot begin construction until an approved TIA is approved for this phase of development. Please contact Amy Kimes, PE at Amy.kimes@wilmingtonnc.gov (910) 473-5130 to discuss the TIA review process and begin the scoping discussion.

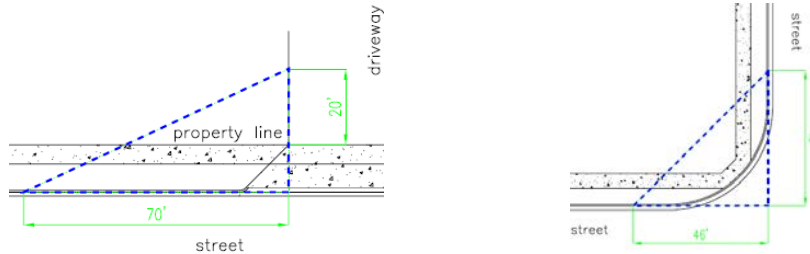
TECHNICAL STANDARDS – NEW ROADS:

1. The proposed Offices at Barclay Location may require a new Street. Contact Jim Sahlie, GIS Coordinator to determine if a street is required.
2. Please provide the dimensions of all street ROW, (for the existing streets, proposed streets and “future road A”).
3. Dimension sidewalk and plaza on the existing and proposed ROW.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

4. Dimension driveway widths at the driveway access to parking deck [[Sec.18-529 CofW LDC](#)]
5. The sidewalk connection from the public sidewalk to the building has a separate ADA Accessible Path, and stairs that appear to present possible barriers to Handicap persons. Please verify site elevations to determine if there is an opportunity to have this connection without using stairs.

6. Please show/demonstrate why the ADA Path cannot utilize a standard sidewalk connection without stairs from Dusty Miller Lane, Stone Crop Drive, and Gallery Park Blvd.
7. Site plan shows different sight distance triangle at both ends of the driveway access to parking deck.
8. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC]



9. Distinguish between proposed and existing sidewalk(s) and provide dimensions
10. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
11. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.

TECHNICAL STANDARDS – PARKING:

12. Dimension parking stalls, radii and parking aisles. [Sec. 18-529(b)(2) CofW LDC]
13. The minimum standard vehicle parking space size is 8.5' in width by 18' in length.
14. Provide dimensions to clearly indicate the drive aisle widths.
15. Please show the primary and secondary entrance and exits for the proposed parking deck.
16. Provide Elevations, Renderings, floorplans and other details for the proposed parking deck.
17. Protection from vehicles is required around all required landscaped areas within vehicular areas.
18. Provide a turning movement analysis of a Fire Truck, Trash Truck and Rescue vehicle at the internal street that goes beside the parking deck. Also, provide a turning movement for SUVs to the entrance and exit for the parking deck.
19. Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data. [Sec.18-528 CofW LDC]

TECHNICAL STANDARDS – Barrier Free Design:

20. Please show the Handicap Accessible Aisles adjacent to the handicap parking spaces on the site plans.
21. Please verify that Curb ramps shown at the pedestrian connection to parking deck are per standard details SD 3-07. Please amend.
22. Please show location of handicap ramp(s) and signs and provide details on the plan.
23. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [Sec. 18-529(b)(2) CofW LDC]

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.