



**Planning, Development
and Transportation**
 Transportation Planning
 305 Chestnut Street
 PO Box 1810
 Wilmington, NC 28402-1810

910 341-3258
 910 341-7801 fax
www.wilmingtonnc.gov
 Dial 711 TTY/Voice

DATE: 08.21.2015
TO: ProTrak
FROM: Bill McDow
 Transportation Planning

■ BLOCK APARTMENTS [TRC Plan Review]

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel on Greenfield St and Third St. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

TRAFFIC IMPACT:

- ❖ A Traffic Impact Analysis (TIA) may be required for this development. Please contact Amy Kimes, PE at (910) 473-5130 amy.kimes@wilmingtonnc.gov to discuss the TIA review process and begin the scoping discussion.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

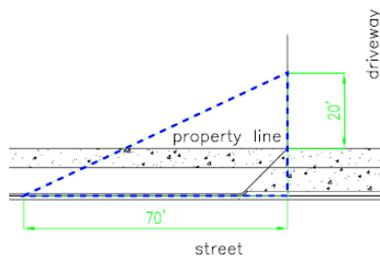
TECHNICAL STANDARDS – DRIVEWAY ACCESS (Major Thoroughfares):

1. The site plans appear to be closing driveways on 3rd Street and Willard Street. Show the closures on the demolition and grading plan and show the restoration of the curb and gutter on the site plan. Extend the curb along these driveways and restore the verge area to match the existing/proposed.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

2. Show driveways for adjacent lots and lots across the street.

3. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [\[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM\]](#)
4. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
5. Dimension driveway widths and tapers. [\[Sec.18-529 CofW LDC\]](#)
6. The proposed sidewalks on 2nd Street and Willard streets must be increased to 8' minimum width per the UMX zoning requirements.
7. Provide sidewalk detail SD 3-10 on the plan.
8. Show all adjacent traffic signs and pavement markings on the plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
9. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
10. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



TECHNICAL STANDARDS – PARKING:

11. The proposed dumpster location, off 3rd Street, appears to be positioned next to a residential home. Please consider repositioning the dumpster.
12. The retail site does not have a dumpster location shown.
13. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [\[Sec.18-526 CofW LDC\]](#)
14. Please show dimensions for parking stalls, radii and parking aisles on site inventory sheet and site plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
15. The site plan has separated the spaces in the retail parking lot. Put both spaces adjacent to the 1st handicap space and convert the second striped access aisle to a parking space.
16. The 24' Oak tree is located within a parallel parking space. If the handicap space in the upper end of the parking lot is moved to the front of this parking lot, this space can be converted to an island and the tree could be saved. Please consider these changes to the parking layout.
17. The site data table discusses 19 garage parking spaces, however, the garage parking spaces are not shown on the site plan. Show the parking spaces and provide a detail on the details page.
18. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing. [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
19. Provide information on the proposed gates and a detail on the site plan and details sheet.
20. Provide wheel stops for parking spaces perpendicular to any proposed retaining walls to allow for car overhang and prevention of cars hitting the wall.
21. Ensure the on-street parking for 2nd Street are at least 15' from fire hydrants.
22. The backing stub is to be 10' deep by 15' wide. Please dimension. [\[Chapter VII ,Detail SD 15-12 CofWTSSM\]](#)

TECHNICAL STANDARDS – Barrier Free Design:

23. Please show location of handicap ramp(s) and signs and provide details on the plan.
24. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.