



Planning, Development and Transportation
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DATE: 08.12.2019
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NATIONAL GYPSUM RAIL SPUR [TRC Plan Review]

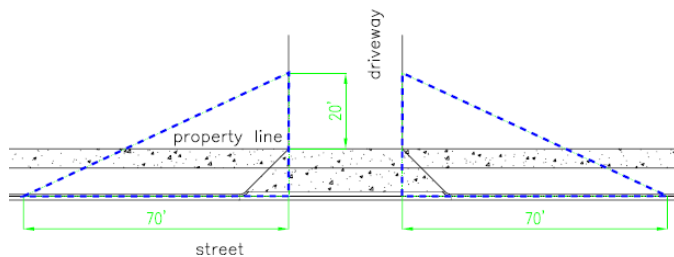
Initial Review Note

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Show the edge of pavement for the existing driveway.
2. The new usage for the Rail Spur has proposed a minimum 48.25' truck and trailer combination. Provide sufficient driveway stem to allow the vehicles to stage in front of the primary fence without having the trailer extending into the Sunnyvale Travel lanes.
3. Dimension driveway widths and tapers. [Sec.18-529 CofW LDC]
4. The minimum two-lane driveway width is 23'. [7-9 CofW Tech Stds]
5. Show the sidewalk connection between the site and the public sidewalk.
6. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
7. Provide sidewalk detail SD 3-10 on the plan.
8. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

9. The site data table has identified 87 existing parking spaces for the site. Please update the site data table with the number of standard parking spaces and number of Trailer Parking spaces.

10. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. If a variance has already been recorded for this property, please provide an email response stating when the variance was granted. [[Chapter VII , C \(4\), pg 7-15 to 7-16 CofWTSSM](#)]
11. Provide a turning movement analysis of a truck with the 48.25 trailer entering and exiting the driveway onto Sunnyvale Drive.
12. The site has more than 25 parking spaces. Please provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data. If the bicycle parking is existing, please show its location on the site plans. [[Sec.18-528 CofW LDC](#)]

TECHNICAL STANDARDS – Barrier Free Design:

13. The site is required to have Handicap Parking Spaces. Please show location of handicap ramp(s) and signs and provide details on the plan.
14. Note the required and proposed number of handicapped spaces in the development data. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]
15. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]

GENERAL NOTES TO ADD TO THE PLAN:

- A. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.

MISCELLANEOUS:

- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.