



Planning, Development and Transportation

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DATE: 07.31.2019
TO: ProTrak
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■ **RENAISSANCE APARTMENTS [TRC Plan Review]**

Initial Review Note

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Revise all relevant sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings for Ashes Dr and Fresco Rd roundabout on the plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
<https://www.wilmingtonnc.gov/home/showdocument?id=1910>
- Dimension the existing sidewalk.

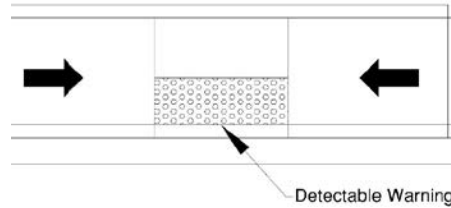
TECHNICAL STANDARDS – PARKING:

1. The minimum radius is 25’ for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15’. This request must be made in writing (an email message is acceptable). [Chapter VII, Detail SD 15-13 CofWTSSM]. Please contact Engineering division for this request.
2. Please show all the traffic control devices and pavement marking showing the traffic flow for this project.
3. ‘One way’ signage is recommended to restrict the traffic from entering the one-way aisle.

TECHNICAL STANDARDS – Barrier Free Design:

4. Please show location of accessible ramp(s).
5. Detectable warning domes must be installed at the end of each sidewalk before entering drive aisle/pavement surface (regardless of the ramps). [City/ADA standards].

6. On parallel curb ramps, detectable warning surfaces shall be placed on the turning space at the flush transition between the street and sidewalk. Please revise the details on sheet C4-1 accordingly.



7. Few of the accessible parking signs must be relocated in front of the accessible parking space from accessible aisle. (North of Building B)
8. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

GENERAL NOTES TO ADD TO THE PLAN:

- A. Street trees must be located a minimum of 15 feet from street lights. [\[CofW SD 15-17\]](#)

MISCELLANEOUS:

- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.