



**Planning, Development
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DATE: 07.31.2014
TO: ProTrak
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Transportation Planning

■ **GALLERY PARK APARTMENTS AT BARCLAY WEST [Plan Review #2]**

🌀 Initial Review Note 🌀

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- The new driveway on Chippenham Dr did not appear on the Barclay West Phase 1 Infrastructure plan. It may require approval from SRB.
- The internal streets, Street C and Street D did not appear on the Barclay West Phase 1 Infrastructure plan. They may require approval from SRB.

TRAFFIC IMPACT:

- ❖ A Traffic Impact Analysis (TIA) is underway for the Barclay West Master Plan. An update to this plan may be required for this development. Please contact Amy Kimes, PE, at (910) 473-5130 or amy.kimes@wilmingtonnc.gov to discuss the TIA review process and the scoping discussion.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

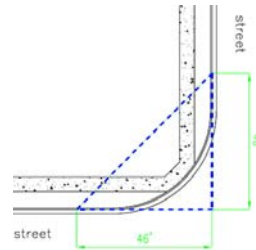
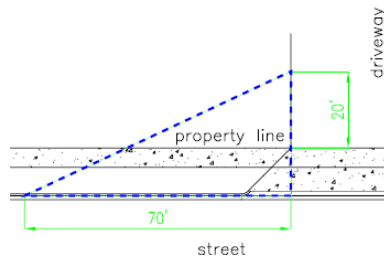
TECHNICAL STANDARDS – NEW ROADS:

1. Revise the proposed cross section details of the Street B, Street C, Street D and Chippenham Drive for the base material. The minimum base material must be 6".

2. Revise the minimum diameter of pavement width for the cul-de-sac/ circular intersection of Street D. The minimum diameter of pavement width at the end of a cul-de-sac should be 80'. [Chapter VII ,Table 2, pg. 7-5 CofWTSSM]
3. Revise the cul-de-sac and Street D cross section shown on sheet 4 in accordance with SD 1-13, which features a R20' inner circle for the island and R42 to the face of curb. [SD 1-13, CofWTSSM]
4. The proposed street cross section for Street C does not provide dimensions for the bike lane, and vehicle lane width.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

5. Please add/ modify the sidewalk connections between the site and the Multiuse paths, per the meeting on 7-29-14.
6. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

7. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [Chapter VII , C (4), pg 7-15 to 7-16 CofWTSSM] A variance request for the 500'/800' rule must be submitted to COW Engineering Department.
8. Graphically indicate the bicycle parking listed within the site data table on the plans. [Sec.18-528 CofW LDC]
9. Please revise the wheel chair ramps for the intersection of Street C and Street D per SD 8-11.

GENERAL NOTES TO ADD TO THE PLAN:

- A. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
- B. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- C. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [Sec.18-378 (e) CofW LDC]

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.