



**Planning, Development
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DATE: 07.13.2015
TO: ProTrak
FROM: Bill McDow
 Transportation Planning

■ **NHC ABC FACILITY RENOVATION [TRC Plan Review# 2]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

NCDOT:

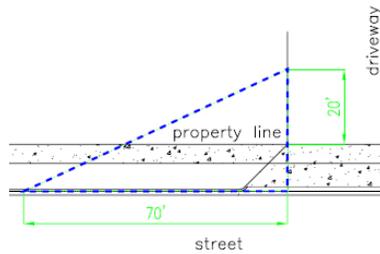
It is the Applicant’s responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – DRIVEWAY ACCESS (Non-Major Thoroughfares):

1. The relocated Castle Street driveway, (located across from Cowell Avenue) conflicts with the pavement markings for the on-street parking. The pavement markings for the on-street parking will need to be relocated or removed.
2. The first driveway on Castle Street is located within the functional area of the signal. [7-13 CofW Tech Stds] The existing Castle Street Driveway must be modified for right in and right out operations.
3. Driveways along intersection side streets must have corner clearance of 60’ measured along the curb line. [7-13 CofW Tech Stds] A variance for the driveway clearance from the street corner must be submitted.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

4. For the new and existing driveways, show and apply the City’s 20’x70’ sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

5. The proposed parking lot has 7 parking spaces that are non-standard. The parking lot proposes a 24" valley gutter at one end of the parking spaces. If the parking lot is proposing a drainage trench or drainage flume, please specify on the drainage feature on the site plan.
6. Show the location for the dumpster pad and provide required screening for the dumpster.

TECHNICAL STANDARDS – Barrier Free Design:

7. Please show location of handicap ramp(s) and signs and provide details on the plan.

REVISIONS TO NOTES ON THE PLAN:

8. Please revise notes #12 on Notes sheet C-7 to reflect the following verbiage:
#: Contact Traffic Engineering at 341-7888 to discuss street lighting options.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 342-2786 to discuss proposed removal/reconfiguration/ construction sequencing related to on street parking spaces.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.