



**Planning, Development  
and Transportation**  
Transportation Planning  
305 Chestnut Street  
PO Box 1810  
Wilmington, NC 28402-1810

910 341-3258  
910 341-7801 fax  
www.wilmingtonnc.gov  
Dial 711 TTY/Voice

**DATE:** 07.07.2015  
**TO:** ProTrak  
**FROM:** Bill McDow  
Transportation Planning

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■ **ASPEN HEIGHTS [TRC Plan Review #2]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

**NCDOT:**

- It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910. 251.2655. Initial NCDOT Comments have been issued and will apply to this plan. Please note additional comments may be forthcoming once coordination occurs.

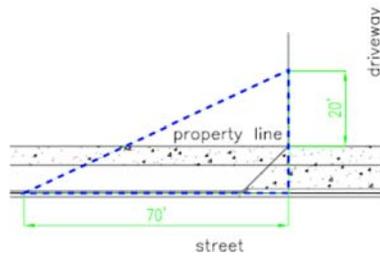
**TECHNICAL STANDARDS – DRIVEWAY ACCESS (Major Thoroughfares):**

1. Please clarify the proposed driveway shown along Kerr Ave. Does the Driveway have a right turn lane or deceleration lane?
2. Please clarify whether the project will use shoulder or curb and gutter for Kerr Ave.
3. The proposed radius style driveway for the Kerr Ave driveway apron is less than the standard R26' radius and may hinder ingress and egress into the driveway. Please revise to R25. [7-13 CofW Tech Stds]

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):**

4. Revise/ remove the proposed speed humps along the emergency response route to project structures or lower the height of the bumps to 3" or less. WFD has requested the changes to the speed humps due to their impact to response times.
5. Please modify the tapers for the Campus Cove Driveway to meet the minimum 13' taper. [Sec.18-529 CofW LDC]
6. The proposed SU design vehicle does not match the autoturns for a WFD Fire Truck Ladder Truck and Fire Engine, which is greater than a SU30 footprint. Please use the attached file or WB40 template to show the intersections within the site.
7. As previously stated, show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed

vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



#### TECHNICAL STANDARDS – PARKING:

8. Provide details for the proposed Carports. Show the columns for the structures also.
9. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. A written request to waive the requirement can be submitted to the City Engineer for approval. [Chapter VII , C (4), pg 7-15 to 7-16 CofWTSSM]

#### REVISIONS TO NOTES ON THE PLAN: (changes are shown with 'Bold print')

10. Please revise staking notes #12 on sheet C2.0 to reflect the following verbiage:
  - #12: All proposed sidewalks within the site shall be **5'** wide concrete sidewalks unless otherwise noted and shall be constructed in accordance with the plans and specifications.

#### MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.