



**Planning, Development
and Transportation**
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■ **DAWSON STREET LOFTS [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



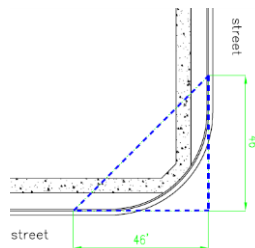
BASE INFORMATION:

- Show the existing conditions, driveways, adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Show these conditions on 10th Street, and Virgie Rhodes Lane. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- If pavement markings on site have weathered to the point they are not in accordance with the MUTCD standard of maintenance, do not show the markings as existing, and rather show them as proposed on the site plan.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Show existing conditions on the other side of 10th St. and Virgil Rhodes Lane (handicap ramps, sidewalk, parking, driveways, etc.) on the site plan.
2. The sidewalk along 10th St shall be 8' wide. The sidewalk and proximity of the bus stops and schools help to make this portion of the site more pedestrian oriented. [[LDC 18-204, Sec. \(7\) a 3.](#)]
3. Dawson Street sidewalk connections (Buildings 1-2) must be handicap accessible. Please ensure the sidewalk connections provided from the building to Dawson Street Sidewalk and Bus Stop are not hindered by steps or other obstacles. [[LDC 18-204, Sec. \(7\)](#)]
4. Provide a sidewalk connection between the site and the public sidewalk on 10th Street.
5. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
6. Provide sidewalk detail SD 3-10. Ensure the decorative sidewalk meets the minimum sidewalk standards from the City Technical Standards. [[Detail SD 3-10 CofW Tech Stds](#)]
7. Show all handicap ramps on the site, to include the driveway apron on 10th St.

8. Clearly show the accessible path from the Handicap spaces to Buildings and from the two (2) bus stops to the buildings. Building 1 and Building 2 have concrete steps shown on the plan that appear to interfere with the access route for handicap residents. . [Sec. 18-529(b)(2) CofW LDC]
9. Add tactile mats to each curb ramp and handicap ramp.
10. The crosswalks shown on Virgie Rhodes Lane do not show handicap ramps for the curb sections and sidewalk on the opposite side of the street.
11. The site plans show sections of the sidewalk that have been reduced to 4' width. Increase the sidewalk to minimum 5' sidewalk width.
12. The sidewalk sections around the dumpster enclosures and handicap ramps are not in line with the alignment for the sidewalk.
13. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
14. Show any traffic signal facilities and equipment in front of the development, such as the 10th Street pedestrian signals. Contact Traffic Engineering at 341-7888 for help in identifying these.
15. Show and apply the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

16. Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking.
17. The site plans do not have ADA parking spaces in front of Building #1. As the site has proposed 4 ADA parking spaces for this development, please position 2 Handicap Accessible parking spaces in front of each building. [Sec. 18-529(b)(2) CofW LDC]
18. The proposed dumpster locations appear to be too narrow for Trash Trucks to safely access these dumpster. Provide a turning movement analysis of a Trash Truck vehicle at each dumpster location.

TECHNICAL STANDARDS – Barrier Free Design:

19. Please show location of handicap signs and provide details on the plan.
20. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building and from the bus stops to the buildings. [Sec. 18-529(b)(2) CofW LDC]

REVISIONS TO NOTES ON THE PLAN:

21. Please revise notes #18 on sheet G-002 to reflect the following verbiage:

#18: Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.