DATE: 06.19.2018

TO: ProTrak
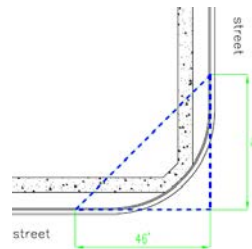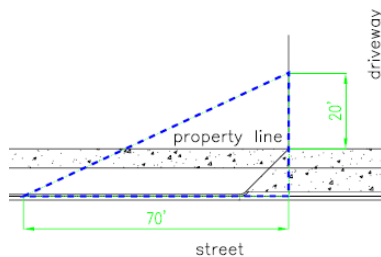
FROM: Mitesh Baxi
Traffic Engineering

■ **BRADLEY CREEK STATION [TRC Plan Review #2]**

NCDOT:
It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):
1. Driveways shall be City-standard ramp-type driveways. Show City standard detail(s) on plan. [SD 3-03.3 & 3-03.4 (Vertical curb) CofWTSSM].
2. If the southern side one-way driveway is designed as a street type, please show the wheelchair ramps on both the sides of the driveway connecting the sidewalk.
3. `Pavement ends' (W8-3) sign (see Figure 5C-2 of MUTCD) must be installed for 58th St to warn road users where a paved surface changes.
4. An advisory speed plaque of 35MPH (see Section 2C.08 of MUTCD) mounted below `Pavement ends' should be used to warn road users of an advisory speed for a roadway condition.
5. The placement of both the above signs should be approximately 100' from the end of pavement of 58th St. (section 6F.17 of MUTCD)
6. `One Way' signs (Section 2B.40 of MUTCD)must be installed for one-way driveway facing 58th St. Two one-way signs may be installed back-to-back on the same post, so that it is visible to both sides traffic on 58th St.
7. Show and apply the City's 20'x70' sight distance triangle at each side of all the driveways and City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan [Sec.18-529(c) (3)CofW LDC].

TECHNICAL STANDARDS – PARKING:
8. Please show all the traffic control devices and pavement marking showing the traffic flow for parking facility.
9. `Do Not Enter' sign must be installed for one-way ingress only driveway, in accordance with MUTCD, to restrict the traffic from approaching this driveway. This must be placed facing drive aisle parallel to Oleander.

10. `No Right Turn' sign must be installed at the one-way driveway, in accordance with MUTCD, to restrict the egress traffic entering into this driveway to access 58th St. This sign must be installed facing the drive aisle parallel to 58th St.
11. Small vehicle signs are shown at the end of few parking spaces must be relocated to allow for a 2.5' vehicle overhang. Alternatively, provide wheel stops for those spaces.
12. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [Chapter VII, C (4), pg. 7-15 to 7-16 CofWTSSM]. A variance may be required. Please contact Engineering division.

TECHNICAL STANDARDS – Barrier Free Design:
13. The handicap signs are shown at the end of handicap parking stalls. An allowance for a 2.5' vehicle overhang must be considered. Please relocate these signs or provide wheel stops for these spaces. [Chapter VII, Detail SD 3-07 & SD 15-13 CofWTSSM]
14. Show the wheel chair ramps at the end of the sidewalks, connected by crosswalk pavement markings.

GENERAL NOTES TO ADD TO THE PLAN:
A. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

MISCELLANEOUS:
❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.