



**Planning, Development  
and Transportation**

Transportation Planning  
305 Chestnut Street  
PO Box 1810  
Wilmington, NC 28402-1810

910 341-3258  
910 341-7801 fax  
www.wilmingtonnc.gov  
Dial 711 TTY/Voice

**DATE:** 06.07.2018  
**TO:** ProTrak  
**FROM:** Mitesh Baxi  
Traffic Engineering

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■ **WOODLANDS AT ECHO FARMS TRACT 5 [Subdivision Plan Review #2]**

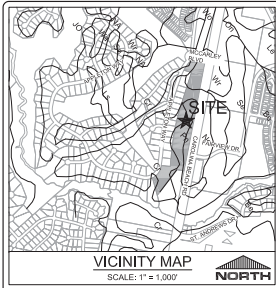
**STREET LIGHTING** [City of Wilmington Street Lighting Policy]:

1. The standard streetlight shall be a DEP enclosed cutoff (Cobra type), high pressure sodium vapor (HPSV) or DEP designated LED equivalent fixture installed within the recommended range of mounting heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.
2. A revised layout for the Standard street lighting has been provided with this review. Minimum of *seven* street lights are required for this sub-division. Although, developers may choose to provide any extra lights or ornamental. Any installations above the criteria of Standard street lighting, will be considered as non-standard and has to conform to the City's non-standard street lighting procedure as per the policy.
3. If developer prefers to install non-standard street lights for this sub-division, atleast one non-standard street light will be required at the intersection of McCarley Blv and proposed Road A.
4. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
5. The Planning, Development and Transportation Director or designee and the City Landscape Designer will coordinate plaza plantings and streetlight locations to minimize the obstruction of light by vegetation.

**MISCELLANEOUS:**

- ❖ Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.
- ❖ We will reserve comments on other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.



**SITE DATA TABULATION**

ECHO FARMS, LLC  
MATRIX DEVELOPMENT GROUP  
CN 400 FORSGATE DRIVE  
CRANBURY, NJ 08512

PROJECT ADDRESS: 4114 ECHO FARMS BLVD., WILMINGTON, NC 28412

TAX PARCEL IDENTIFICATION #: R070356-0201-000  
RECORDED DEED BOOK: BK 2907, PG 450  
PLAT BOOK 84 PG. 296  
13.57 ACRES (691,022 SF)

CURRENT ZONING: M-FM  
CAMALAND USE CLASSIFICATION: URBAN/CONSERVATION AREA  
MAXIMUM ALLOWABLE BUILDING HEIGHT: 35'-9" (WITH ADDITIONAL YARD RED.)

EXISTING LAND USE: GOLF COURSE  
PROPOSED LAND USE: 4-SINGLE-FAMILY RES. (DETACHED)

SINGLE FAMILY LOT COVERAGE: 42-MULTIFAMILY (ATTACHED) 50% MAX PER CODE (20,000SF/44,773SF) 44.7%  
MULTIFAMILY LOT COVERAGE: 30% MAX PER CODE (60,000SF/91,466SF) 12.9%

**SINGLE FAMILY SETBACK STANDARDS**

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	15 FT	15 FT
MINIMUM SIDE SETBACK	5 FT	5 FT
MINIMUM CORNER SETBACK	10 FT	10 FT
MINIMUM REAR SETBACK	15 FT	15 FT

**SINGLE FAMILY LOT SIZE**

APPROXIMATELY 60' WIDE x 120' LONG  
MINIMUM WIDTH = 50'  
MINIMUM SQUARE FOOTAGE = 5,000 SF

**MULTI FAMILY SETBACK STANDARDS**

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	35 FT	35 FT
MINIMUM SIDE SETBACK	20 FT	20 FT
MINIMUM REAR SETBACK	25 FT	25 FT

**MAXIMUM ALLOWED DENSITY TRACT 5**

SFR IN M-FM ZONING ALLOWS UP TO 9 DU/AC  
13.57 AC. \* 9 UNITS/AC = 122 UNITS  
M-FM ZONING ALLOWS UP TO 17 DU/AC  
13.57 AC. \* 17 UNITS/AC = 231 UNITS  
46 PROPOSED UNITS = 3.39 DU/AC

**OPEN SPACE REQUIREMENTS**

	PROVIDED	REQUIRED
(60) UNITS X 0.03 ACRES	7.91 AC	1.38 AC
TOTAL	0.70 AC	0.69 AC
ACTIVE (50% OF REQUIRED)	0.70 AC	0.69 AC
PASSIVE (50% OF REQUIRED)	7.21 AC	0.69 AC

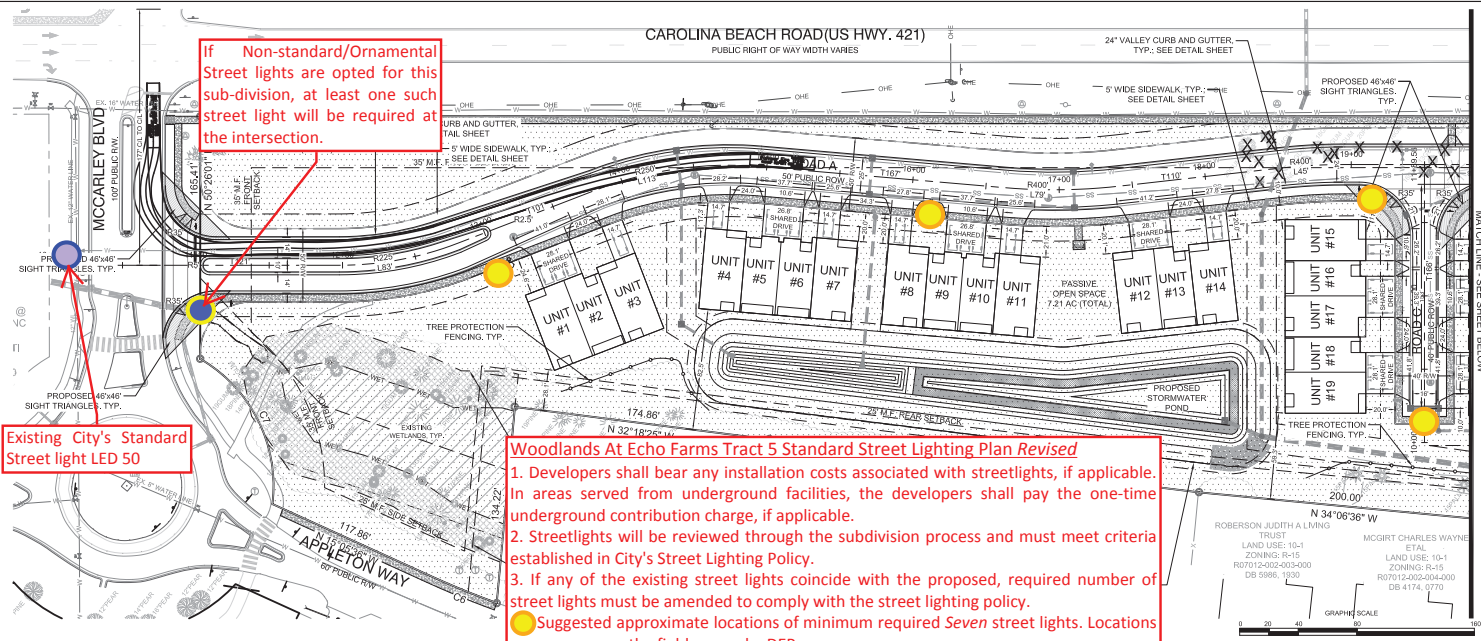
(6.57 ACRES OF OPEN SPACE IS WETLANDS)

**FLOOD NOTE**

A PORTION OF THE SUBJECT TRACT 5 PARCEL LIES WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 370312550 BEARING AN EFFECTIVE DATE OF APRIL 3, 2006. SEE SHEET C-2.2 FOR AREA AFFECTED BY FLOOD ZONE.

**GENERAL NOTES**

- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACCURE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-241-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAME SIGNS MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. 910-341-5258
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.



Existing City's Standard Street Light LED 50

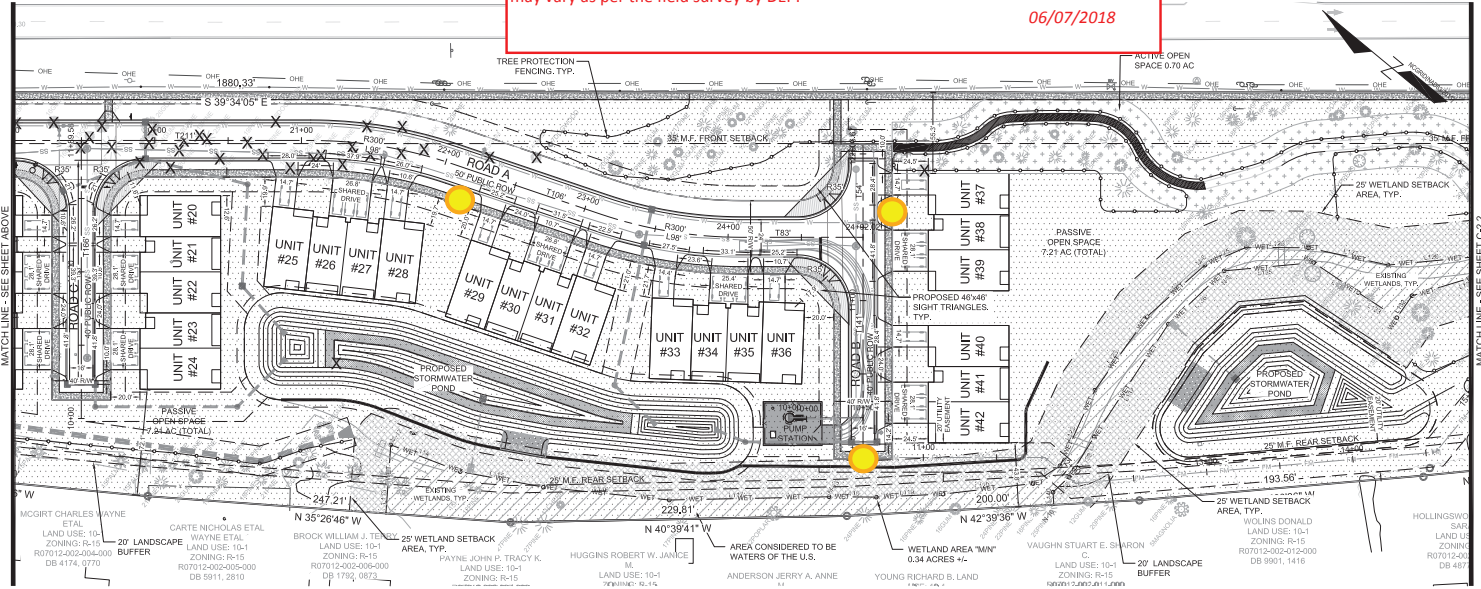
If Non-standard/Ornamental Street lights are opted for this sub-division, at least one such street light will be required at the intersection.

**Woodlands At Echo Farms Tract 5 Standard Street Lighting Plan Revised**

- Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
- Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.
- If any of the existing street lights coincide with the proposed, required number of street lights must be amended to comply with the street lighting policy.

● Suggested approximate locations of minimum required Seven street lights. Locations may vary as per the field survey by DEP.

06/07/2018



**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
C1	274.12	65.91	65.75	N 08°07'38" E	13°46'32"
C2	274.12	64.74	64.59	N 05°31'35" W	13°11'55"
C3	274.12	64.51	64.36	N 19°02'04" W	13°29'02"
C4	274.12	65.96	65.80	N 19°02'04" W	13°41'10"
C5	274.12	27.02	27.01	N 42°23'10" W	3°32'48"
C6	630.60	49.34	49.33	N 17°20'05" W	4°29'00"
C7	100.00	117.38	116.51	N 23°38'25" E	67°06'01"
C8	25.00	71.09	49.45	S 03°58'41" W	162°55'25"

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 08°22'32" W	21.16'
L2	S 08°22'32" W	12.04'
L3	S 13°17'45" W	16.31'
L4	S 27°10'56" W	20.84'
L5	N 08°23'06" W	36.35'
L6	S 85°26'24" W	43.39'
L7	S 17°29'01" E	28.47'
L8	S 31°18'29" E	40.26'

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWO SEWER PERMIT #: \_\_\_\_\_ GPD  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**WILMINGTON**  
NORTH CAROLINA  
Public Services & Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
File: \_\_\_\_\_



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

**PARAMOUNT**  
132 Citizens Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-3846

**SITE PLAN**  
TRACT 5  
WOODLANDS @ ECHO FARMS  
CITY OF WILMINGTON  
NORTH CAROLINA

PROJECT STATUS:  
CONCEPTUAL LAYOUT  
PRELIMINARY DESIGN  
PERMITS  
CONSTRUCTION

DESIGNING INFORMATION:  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_

CLIENT INFORMATION:  
ECHO FARMS, LLC  
MATRIX DEVELOPMENT GROUP  
CN 400 FORSGATE DRIVE  
CRANBURY, NJ 08512

REVISIONS:

PEJ JOB#: 18153.PC