



**Planning, Development  
and Transportation**  
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**DATE:** 06.05.2014  
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■ **HELMSDALE AT LANDFALL-PHASE 2 [Plan Review #2]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

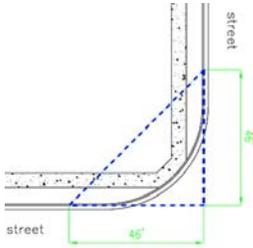


**TECHNICAL STANDARDS – NEW ROADS:**

1. Install wheelchair ramps at corner of Arboretum Drive and Helmsdale Drive, per NCDOT and/or City standards. Connect sidewalk with ramp.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

2. The proposed sidewalk on Arboretum Drive shall be 5' minimum width. Increase sidewalk to match the existing sidewalk on Arboretum Drive.
3. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
4. Required regulatory signs, such as Stop Signs, Yield Signs and Speed Limit Signs must be shown installed per MUTCD standards.
5. Show and apply the City's 46'x46' sight distance triangle at each street corner intersection on the landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



6. Verify the location of the proposed street trees at the intersection of Helmsdale Dr. and Winchester Terrace, and the intersection of Helmsdale Dr and Abernathy Court. Some of the trees appear to be located within the standard 46'x46' sight distance triangle.

#### GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [[Detail SD-13 CofW Tech Stds](#)]
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [[Detail SD 15-13 CofW Tech Stds](#)]
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- D. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- E. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- F. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
- G. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [[SD 15-14 CofW Tech Stds](#)]
- H. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.
- I. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [[Sec.18-378 \(e\) CofW LDC](#)]

#### MISCELLANEOUS:

- ❖ Contact 341-7888 to discuss street lighting options.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.