



**Planning, Development
and Transportation**
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DATE: 05.22.2018
TO: ProTrak
FROM: Bill McDow
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■ DOG DIGGITY DAYCARE & BOARDING [TRC Plan Review #]

🌀 Initial Review Note 🌀

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

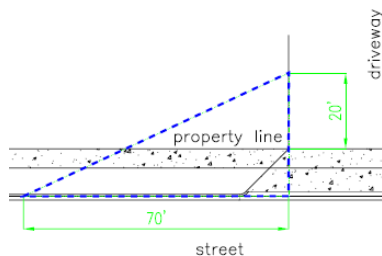
The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

NCDOT:

Please coordinate with NCDOT to determine if a driveway stem will be required for this project. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Show driveways for adjacent lots and lots across the street.
2. Driveways are to intersect the street at a 90 degree angle. [7-11 #3 CofW Tech Stds]
3. Provide a sidewalk connection between the site and the public sidewalk on Carolina Beach Road.
4. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
5. Provide sidewalk detail SD 8-15 on the plan.
6. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
7. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
8. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

9. The existing parking lot appears to have significant damage due to cracked and broken concrete, which needs to be repaired. Please show the parking lot as being resurfaced or repaired for this project.
10. The site appears to be using painted islands instead of landscape islands to protect parking spaces/ rows. Please replace the painted islands with landscape islands per the City Technical Standard and Land Development Code. Protection from vehicles is required around all required landscaped areas within vehicular areas.
11. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing. [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
12. Drop off/pick up areas are required for daycare centers, schools and similar uses. If this site proposed a drop off area, please show it on the site plans. [\[Sec.18-553 CofW LDC\]](#)
13. The area adjacent to parking spaces #16 and #17 (beside the fence) appears to be missing a backing stub. The backing stub is to be 10' deep by 15' wide. Please show the backing stub and provide dimensions. [\[Chapter VII ,Detail SD 15-12 CofWTSSM\]](#)
14. Provide the location of the dumpster for this site.
15. Provide a turning movement analysis of a Trash Truck at the proposed dumpster location.

TECHNICAL STANDARDS – Barrier Free Design:

16. Please show location of handicap ramp(s) and signs and provide details on the plan.
17. Note the required and proposed number of handicapped spaces in the development data. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.