



**Planning, Development
and Transportation**
Transportation Planning
305 Chestnut Street
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DATE: 05.22.2014
TO: ProTrak
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Transportation Planning

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■ **BOJANGLES MARKET STREET [Plan Review# 2]**

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Thank you for providing the encroachment agreement for the proposed sidewalk located outside the ROW. The agreement will be processed as construction plans get closer to completion and signature.

TRAFFIC IMPACT:

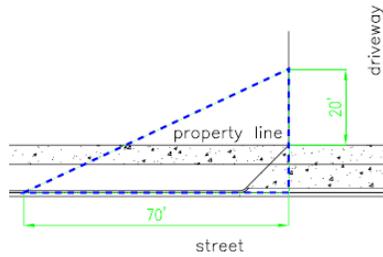
- ❖ A Traffic Impact Analysis (TIA) is in progress for this development. Ensure final site plans incorporate required improvements specified in TIA approval letter.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

1. Show the temporary Market St median, driveways for adjacent lots and lots across the street on the site plans.
2. The pavement markings at the NE portion of the site, (a) combination left and right turn arrow and (b) in and out arrows, [near the dumpster] are in areas where the asphalt/ driveway opening will be closed. If the remainder of Tract 2, Whitey's division is not going to be paved during this project, please advise whether the markings are future and will be installed later.
3. Show and apply the City's 20'x70' sight distance triangle at each driveway and **each access easement connection** on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

4. Proposed wheel stops shown on sheet AS-1-1 is 5" high, reduce to 4" per city technical standard.

REVISIONS TO NOTES ON THE PLAN:

5. As previously requested, revise notes #11, 14, and 15 on sheet 1 to reflect the following verbiage:
 - #11: All traffic control signs and markings off the right-of-way are to be maintained by the property owner **in accordance with MUTCD standards.**
 - #14: A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. **In certain cases an entire resurfacing of the area being open cut may be required.**
 - #15: Any broken or missing sidewalk panels, **driveway panels** and curbing will be replaced.

GENERAL NOTES TO ADD TO THE PLAN:

- A. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.