



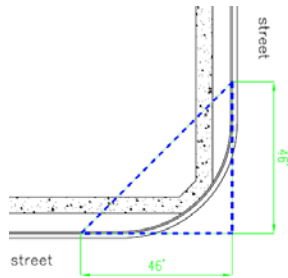
**DATE:** 05.16.2019  
**TO:** ProTrak  
**FROM:** Mitesh Baxi  
Traffic Engineering

910 341-3258  
910 341-7801 fax  
www.wilmingtonnc.gov  
Dial 711 TTY/Voice

■ **PACIFIC PLACE SUB [Review #5]**

**TECHNICAL STANDARDS – ACCESS:**

1. A stop sign and stop bar shall be installed (in advance of the crosswalk) at the intersection of Auriana Way/Greenville Loop Rd, Mirage Way/Auriana Way both the intersections. [City/MUTCD]
2. The City's 46'x46' sight distance triangle shall be applied at the street corner intersection of Greenville Loop Rd and Auriana Way [Sec.18-556 CofW LDC].



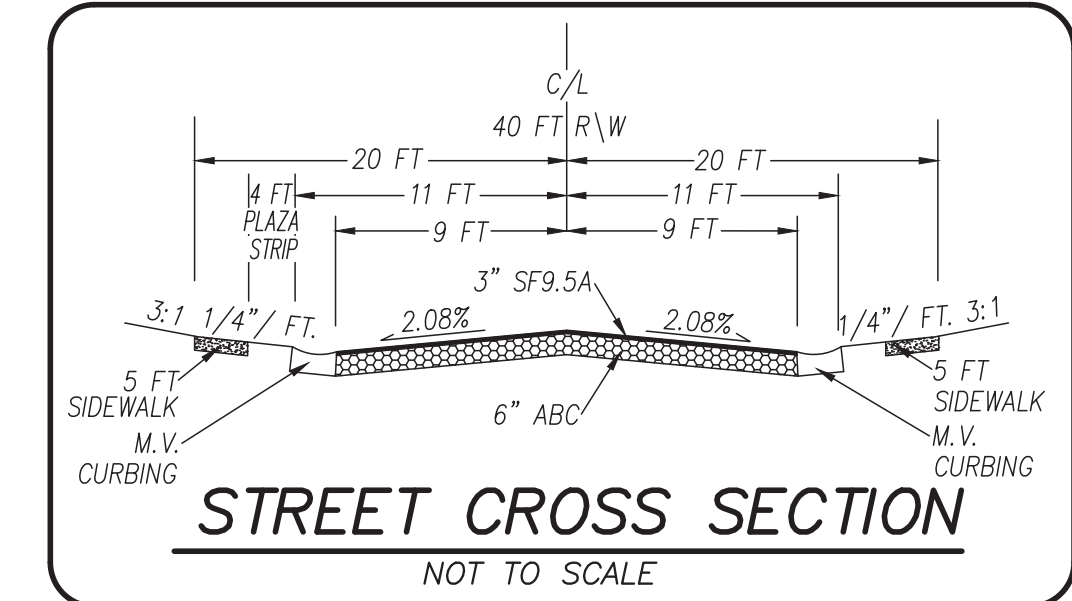
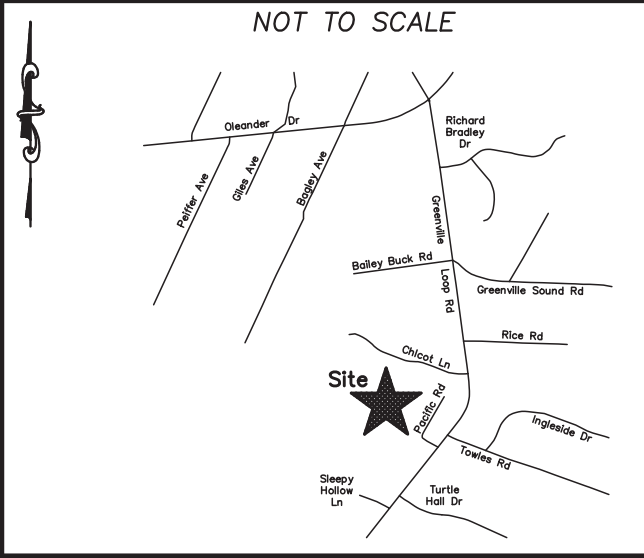
3. All the handicap ramps shall be ADA compliant. Detectable warning shall be installed (regardless of ramps) at the end of sidewalk/multi-use path and at the transition before entering pavement/drive aisle.

**STREET LIGHTING [City of Wilmington Street Lighting Policy]:**

1. The standard streetlight shall be a DEP enclosed cutoff (Cobra type), high pressure sodium vapor (HPSV) or DEP designated LED equivalent fixture installed within the recommended range of mounting heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.
2. A revised layout for the Standard street lighting has been provided with the review as a base for the reimbursement. Minimum of *nine* Standard street lights are required for this project.
3. Although, developers may choose to provide any extra lights or ornamental. Any installations above the criteria of Standard street lighting, will be considered as non-standard and has to conform to the City's non-standard street lighting procedure as per the policy.
4. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
5. The Planning, Development and Transportation Director or designee and the City Landscape Designer will coordinate plaza plantings and streetlight locations to minimize the obstruction of light by vegetation.
6. All the street light shall be installed within the public or private ROW as applicable.
7. Street trees must be located a minimum of 15' from street lights [SD 15-17 of CofWTSSM].



**LOCATION MAP**



**CSD ENGINEERING**  
 LICENSE # C-2710  
 ENGINEERING  
 LAND PLANNING  
 COMMERCIAL / RESIDENTIAL  
 P.O. BOX 4041  
 WILMINGTON, NC 28406  
 (910) 791-4441

**TRAFFIC ENGINEERING NOTES:**

1. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-17.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT PARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
3. OPEN CUT NOTES:
  - A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5889 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
  - C. SUITABLE CONSTRUCTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
  - D. OPEN CUT TO BE SAW CUT.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NC DOT STANDARDS.
5. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
6. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
8. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
9. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
11. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
12. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES TO 10 FT.
13. TRAFFIC ENGINEERING MUST APPROVE PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
14. A SUBDIVISION STREET DISCLOSURE STATEMENT SHALL BE PROVIDED TO BUYERS AT THE POINT OF SALE OF LOTS.
15. A SIGN SHALL BE LOCATED AT THE SOUTHERN END OF AURANA WAY INDICATING THAT A FUTURE CONNECTION WILL BE OPENED WHEN THE PROPERTY TO THE SOUTH DEVELOPS.

**ENVIRONMENTAL NOTES:**

1. NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

**DEVELOPMENT NOTES:**

1. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL 311-800-4322-4849. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC., THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
3. SOLID WASTE DISPOSAL WILL BE HAND TOTES.
4. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
5. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
6. APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
7. THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
8. PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND SHALL BE RECESSED AT LEAST FIVE FEET OR FRAMED BY AN ARCHITECTURAL ELEMENT. PRIMARY ENTRANCES SHOULD BE CLEARLY DISTINCTIVE FROM OTHER ENTRANCES. SECONDARY OUTSIDE BUILDING ENTRANCES TO UPPER FLOORS ON THE PRIMARY FACADE SHALL ALIGN WITH THE OUTER MOST WINDOW ON THE FRONT FACADE.

**WATER & SEWER USAGE NOTES:**

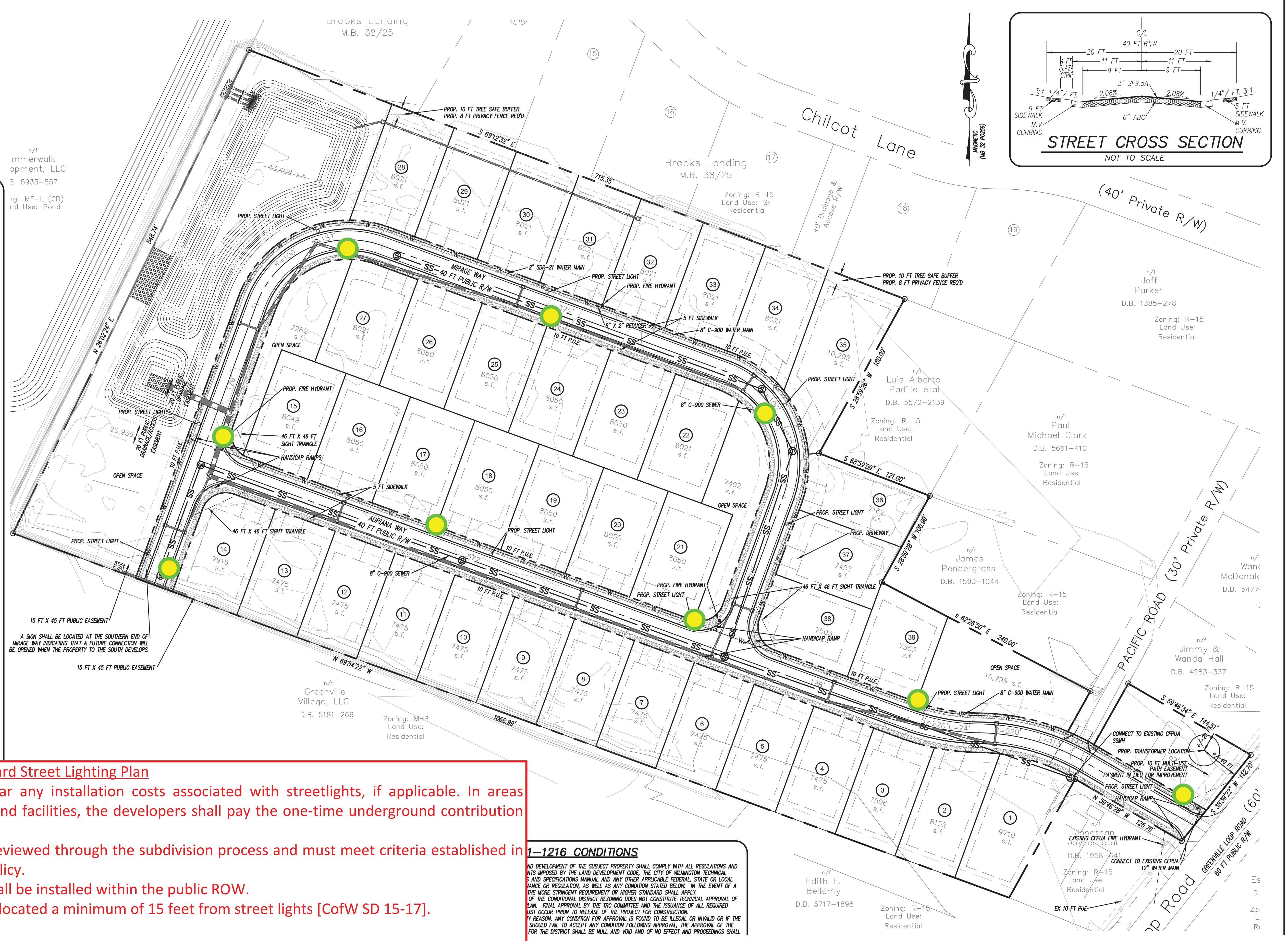
CURRENT WATER USAGE	0 GPD	PROPOSED WATER USAGE	14,400 GPD
CURRENT SEWER USAGE	0 GPD	PROPOSED SEWER USAGE	14,400 GPD
WATER - 140 X 360 GPD = 14,400 GPD		SEWER - 140 X 360 GPD = 14,400 GPD	

**FIRE & LIFE SAFETY NOTES:**

1. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
2. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
3. PRIVATE UNDERGROUND FIRE LINE SAFETY DIVISION, 910-343-0696.
4. FIRE HYDRANTS TO BE INSTALLED

**UTILITY NOTES:**

1. PROJECT SHALL COMPLY WITH THE REQUIREMENTS WATER METERS (REQUIREMENTS ARE MET. CALL 341-7888).
2. IF THE CONTRACTOR DESIRES WATER SERVICE AND MUST PROVIDE A REPAIR TO THE DEVELOPER'S SIDE OF THE ROAD. ALL COMMERCIAL WATER SERVICES HAVE A BACKFLOW PREVENTION DEVICE OR ASSE. CALL 799-8064 FOR MORE INFORMATION.
3. WHEN THE WATER MAINS AND/OR PIPES WITH DUCT TAPE. THE INSULATION SHALL BE MAINTAINED AND THE METER BOXES TO REMAIN IN PLACE.
4. 36" MINIMUM COVER OVER ALL WATER MAINS.
5. ANY SEPARATE CONNECTION FOR CROSSED-CONNECTION REQUIREMENTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
7. AT LOCATIONS WHERE WATER MAINS ARE USED ALONG WITH PROVIDING 24" WATER SERVICE CAN NOT BE INSTALLED.



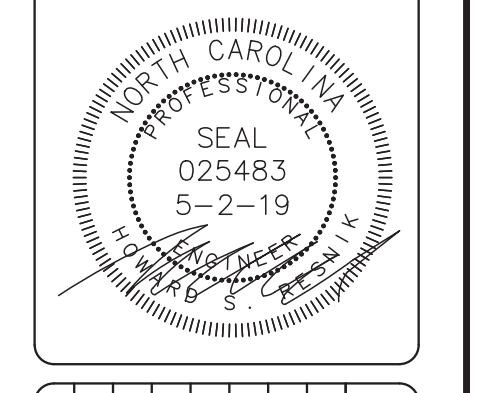
**PRELIMINARY PLAN for PACIFIC PLACE**  
 n/i Jeff Parker  
 D.B. 1385-278  
 Zoning: R-15  
 Land Use: Residential

**PRELIMINARY PLAN for PACIFIC PLACE**  
 n/i Paul Michael Clark  
 D.B. 5661-410  
 Zoning: R-15  
 Land Use: Residential

**PRELIMINARY PLAN for PACIFIC PLACE**  
 n/i James Pendergrass  
 D.B. 1593-1044  
 Zoning: R-15  
 Land Use: Residential

**PRELIMINARY PLAN for PACIFIC PLACE**  
 n/i Jimmy & Wanda Hall  
 D.B. 4283-337  
 Zoning: R-15  
 Land Use: Residential

ED DRAINAGE ESMT BEHIND LOTS 1-5	ED TRANSFORMER LOCATION	ED LOT LAYOUT AND NUMBERING	ED STREET LAYOUTS	ED ROAD NAMES	ED PER TRIC COMMENTS	REMARKS	DATE								
MRB	9/2/19	MRB	11/15/19	MRB	7/26/19	MRB	1/15/19	MRB	12/11/17	MRB	9/25/17	MRB	9/26/17		



**Pacific Place Sub Standard Street Lighting Plan**

1. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
2. Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.
3. All the street light shall be installed within the public ROW.
4. Street trees must be located a minimum of 15 feet from street lights [CofW SD 15-17].

● Proposed locations of required *nine* street lights. Locations may vary as per the field survey by DEP.

05/16/2019

**1-1216 CONDITIONS**  
 AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND CONDITIONS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY TO THE PROJECT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY. IF THE CONDITIONAL DISTRICT REZONING DOES NOT CONSTITUTE TECHNICAL APPROVAL OF A PLAN, FINAL APPROVAL BY THE TRIC COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION. FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE PROJECT FAILS TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE TRIC COMMITTEE FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE REOPENED.