



**Planning, Development
and Transportation**
Transportation Planning
305 Chestnut Street
PO Box 1810
Wilmington, NC 28402-1810

DATE: 05.16.2018

TO: ProTrak

FROM: Bill McDow
Transportation Planning

910 341-3258
910 341-7801 fax
www.wilmingtonnc.gov
Dial 711 TTY/Voice

■ **WILMINGTON MUNICIPAL GOLF COURSE [TRC Plan Review]**

🌀 Initial Review Note 🌀

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Revise all sheets to accurately reflect the Drawing Scale for these plans. The site plans show a 1"=100' graphic scale, however, the drawing size appears to be 1"=40'. Please revise all plan sheets.
- Show the intersection of Donald Ross Drive and Pine Grove Drive.
- Please verify the maintenance status and SR number for Donald Ross Drive. The site plans show SR 1492 on Pine Grove Drive and Donald Ross Drive. Donald Ross Drive appears to be a city maintained street and not a NCDOT Maintained State Road.
- Show the intersection of Donald Ross Drive and Oleander Drive.

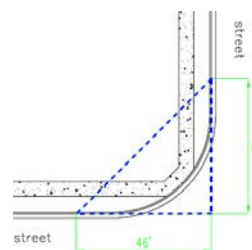
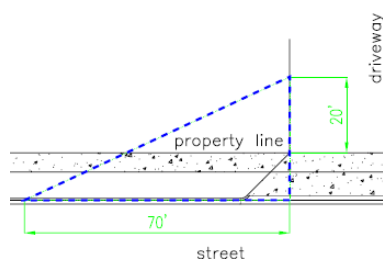
TECHNICAL STANDARDS – NEW ROADS:

1. The proposed site plans appear to show a new alignment and traffic pattern for the existing Donald Ross Drive. Please clarify how the street will be aligned and how traffic will flow along the street.
2. The site appears to be installing a speed hump on a city street. Speed humps must be approved in advance by the City Council. Please clarify the use of this traffic calming device.
3. Provide a vertical profile for the proposed traffic calming device, shown on Donald Ross Drive.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

4. The one way driveway adjacent to the Club House appears to be part of the primary route for to access Handicap Parking spaces. Please clarify how handicap persons will access this location from Oleander Drive and Pine Grove Drive.
5. The proposed driveway to the addition to the 1 Story Wood and Frame Cart House and 1706 SF Maintenance Addition Buildings appears to be 9' to 10' wide. Increase the driveway width to a minimum 20' width to accommodate Fire and Rescue Response to these buildings. [7-9 CofW Tech Stds]
6. Provide dimensions for each existing and proposed driveway and drive aisle.

7. Donald Ross Drive appears to be missing sidewalk to Pine Grove Drive and Oleander Drive. Install the sidewalk.
8. The Pine Grove Drive Frontage appears to be missing sidewalk. Please install the sidewalk.
9. Provide a sidewalk connection between the site and the public sidewalk.
10. Provide internal sidewalk to each parking area.
11. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
12. Show all on site and adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
13. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
14. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

15. The proposed parking aisles along Donald Ross Drive appear to require vehicles backing out onto this street. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [Sec.18-526 CofW LDC]
16. The "Overflow" and "Pervious Parking Spaces" do not have markings or dimensions. Dimension parking stalls, radii and parking aisles. [Sec. 18-529(b)(2) CofW LDC]
17. The minimum standard vehicle parking space size is 8.5' in width by 18' in length.
18. Please label and dimension the landscape island and driveway radius on the plan. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. [Chapter VII, Detail SD 15-13 CofWTSSM]
19. The proposed driveway that connects the parking area to the east of the Stormwater Pond to the driveway that goes to the dumpsters, appears to be missing a 50' section of pavement.
20. Provide additional dimensions to clearly indicate the drive aisle widths at areas where proposed improvements alter the width.
21. Show landscape islands adjacent to new and revised parking areas/ rows. Protection from vehicles is required around all required landscaped areas within vehicular areas.
22. The proposed Fire Truck and Trash Truck Turning movement analysis shown on the plan does not match the design vehicle for City Fire Trucks. The standard City Fire Engine is a 48' Fire Engine. The proposed S-40 Bus template is unacceptable.
23. The Corner of the Proposed Cart Barn appears to hinder vehicle access around the side of this building.
24. Provide a Landscape plan for this project.
25. Provide a turning movement analysis of a Fire Engine (Using a Minimum 48' Fire Engine Auto Turns Template) at the Dumpster, around the Proposed Cart Barn and to the proposed Maintenance Addition locations.
26. The site has increased on-site parking from 87 existing spaces to 137 parking spaces. Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development

Code. Add the number required and proposed to the site development data. [\[Sec.18-528 CofW LDC\]](#)

TECHNICAL STANDARDS – Barrier Free Design:

27. The site data table states that 5 Handicap Parking spaces will be provided. The site plans appear to show only 3 handicap accessible parking spaces. Please revise. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
28. Please show location of handicap ramp(s) and signs and provide details on the plan.
29. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

GENERAL NOTES TO ADD TO THE PLAN:

- A. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [\[SD 15-14 CofW Tech Stds\]](#)

MISCELLANEOUS:

- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.